



CITY OF
BAINBRIDGE ISLAND

PLANNING COMMISSION
REGULAR MEETING
THURSDAY, OCTOBER 27, 2016
6:00 – 9:00 PM
COUNCIL CHAMBER
280 MADISON AVE N
BAINBRIDGE ISLAND, WA 98110

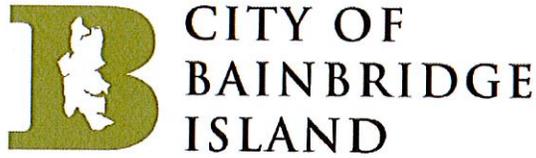
AGENDA

- 6:00 PM** **CALL TO ORDER**
Call to Order, Agenda Review, Conflict Disclosure
- 6:05 PM** **PUBLIC COMMENT**
Accept public comment on off agenda items
- 6:10 PM** **SITE PLAN & DESIGN REVIEW PERMIT:
BI FIRE DEPARTMENT STATION 21- PLN11791SPR/CUP**
Public Meeting and Recommendation
- 6:55 PM** **SITE PLAN & DESIGN REVIEW PERMIT:
BI FIRE DEPARTMENT STATION 22- PLN14200SPR/CUP**
Public Meeting and Recommendation
- 7:40 PM** **ISLAND-WIDE TRANSPORTATION PLAN**
Discussion
- 8:10 PM** **ORDINANCE 2016-28 LOW IMPACT DEVELOPMENT REGULATIONS**
Study Session
- 8:55 PM** **NEW/OLD BUSINESS**
- 9:00 PM** **ADJOURN**

****TIMES ARE ESTIMATES****

Public comment time at meeting may be limited to allow time for Commissioners to deliberate. To provide additional comment to the City outside of this meeting, e-mail us at pcd@bainbridgewa.gov or write us at Planning and Community Development, 280 Madison Avenue, Bainbridge Island, WA 98110

**For special accommodations, please contact Jane Rasely, Planning & Community
Development 206-780-3758 or at jrasely@bainbridgewa.gov**



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

STAFF REPORT

Date: October 18, 2016
To: City of Bainbridge Island Planning Commission
From: Joshua Machen, AICP
Planning Manager
Project: Bainbridge Island Fire Department Station 21
Site Plan and Design Review/ Conditional Use Permit
File Number: PLN11791B SPR/CUP

I. INTRODUCTION

Applicant: Mackenzie
C/O Michael Chen
500 Union Street, Suite 545
Seattle, WA 98101

Owner: Bainbridge Island Fire Department

Request: The proposed project is the redevelopment of the existing fire station on the site, Station #21. The redeveloped fire station will have two stories with approximately 30,760 square feet with living quarters, meeting spaces, offices, storage areas, and apparatus bays. The existing memorial and helicopter landing pad and fence will remain. (Attachment B, C & G)

Location: 8895 Madison Avenue, being portions of Sect. 22, T. 25N. R. 02E. W.M. Tax parcel numbers 222502-1-023-2000 and 4169-000-050-0206

Environmental Review: A SEPA Threshold Determination was issued on October 11, 2016

Recommendation: Approve the application with the following conditions:

SEPA Conditions

1. All graded materials removed from the subject property shall be hauled to and deposited at City approved locations (Note: local regulations require that a grade/fill permit is obtained for any grading or filling of 50 cubic yards of material or more if the grading or filling occurs on sites that have not been previously approved for such activities. A SEPA

Threshold Determination is required for any fill over 100 cubic yards on sites that have not been previously received a SEPA determination).

2. Contractor is required to stop work and immediately notify the Department of Planning and Community Development and the Washington State Office of Archaeology and Historic Preservation if any historical or archaeological artifacts are uncovered during excavation or construction.
3. To mitigate the possible impact on adjacent properties from light and glare, all exterior lighting shall be hooded and shielded so that the bulb is not visible from adjacent properties. All landscape lighting shall be downcast and lighting within surface parking lots shall be no higher than 14 feet above grade. All exterior lighting shall comply with BIMC Chapter 15.34.
4. Prior to any clearing or grading on the site, chain-link construction fencing shall be installed and inspected by the City at the edge of the tree's dripline for trees being preserved as part of the development.
5. All construction activities shall comply with the construction operating hours limitations contained in BIMC Chapter 16.16. Noise produced by this development must comply with the maximum environmental noise levels established by the Washington Administrative Code 173-60 or its successor.
6. Frontage improvements along New Brooklyn Road must be completed prior to Certificate of Occupancy and/or Final Inspection. Frontage improvements include pedestrian sidewalk and bike lane.
7. A mid-block crosswalk on Madison Avenue must be designed, approved, and constructed prior to Certificate of Occupancy and/or Final Inspection.
8. All on-site stormwater facilities shall remain privately owned and maintained. The owner shall be responsible for maintenance of the storm drainage facilities for this development following construction. Annual inspection and maintenance reports shall be provided to the City. A declaration of Covenant for stormwater system operation and maintenance will be required to be recorded before issuance of occupancy permits. The approved language for the Declaration of Covenant is found in BIMC 15.21.

Project Conditions:

9. The site shall be developed in substantial conformance with the revised site plans date stamped September 29, 2016 and building elevations date stamped received October 17, 2016.
10. The 50-foot averaged full landscape screen along Highway SR305, as shown on the submitted plans, shall be maintained between the proposed development and Highway SR 305 to the west. All existing trees within the required buffers shall be retained and protected during and after construction.
11. The applicant shall obtain an approved building and/or grading permit from the Department of Planning and Community Development, prior to any construction activities on the site.

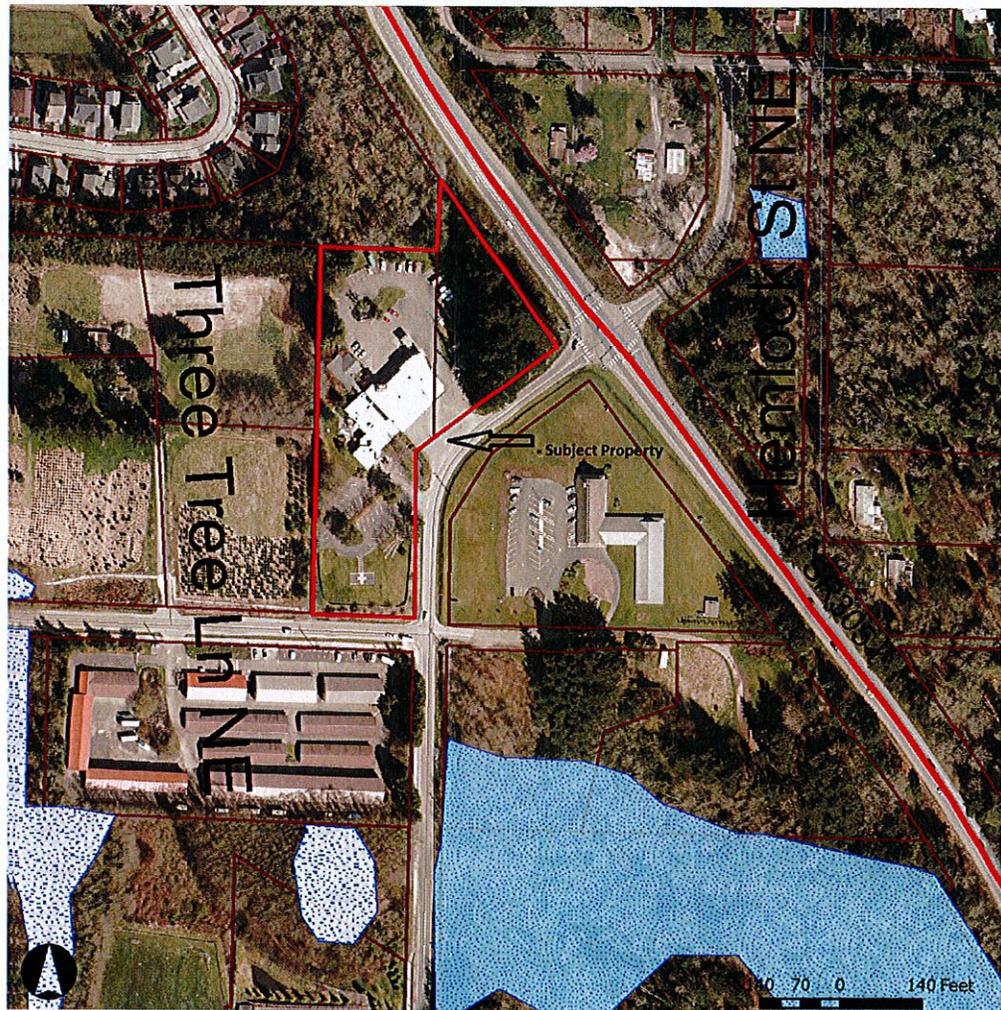
12. Sign permits shall be obtained as required by BIMC Section 15.08.
13. Parking shall be improved in substantial conformance with the approved site plan. The parking area shall be paved, all stalls shall be striped to their full dimensions and appropriate signage shall be placed at each handicap stall(s). Each parking stall shall meet the dimensional standards of BIMC Table 18.15.020-3 outside of required driving aisles or minimum sidewalk width of five feet.
14. The primary walkways throughout the development shall meet accessibility requirements including being surfaced with nonskid hard surfaces and providing a minimum of five feet of unobstructed width.
15. A minimum of 10 bicycle spaces shall be installed prior to final inspection. The racks shall allow for the wheel and frame of the bicycle to be locked. The bicycle stalls shall provide for both visitors and employees of the station.
16. All landscaping shall be installed as provided in the approved landscaping plans or a performance assurance device shall be submitted and approved, prior to final inspection of the station. The installation of landscaping shall be verified by a Landscape Professional and a landscaping declaration shall be signed by either the certified landscape professional or owner.
17. Prior to occupancy of the station or the release of a landscaping performance assurance, a landscaping maintenance assurance device for the required landscaping shall be provided to COBI for a period of three years. All landscaping and buffers shall be maintained for the life of the project.
18. An International Society of Arboriculture (ISA) valuation for all trees, where the critical root zone of a tree required to be retained may be impacted by clearing, grading construction, development, or maintenance, shall be submitted to issuance of the building permit for the station.
19. In order to define the circulation system and pedestrian separation, raised curbs shall be used to separate landscaping and raised walkways from parking stalls and drive aisles.
20. Exterior trash receptacles/recycling facilities shall be fully screened with solid walls and gates (no chain-link fencing). The screening enclosures shall be architecturally consistent with the adjacent station. All enclosures shall be constructed and inspected prior to final inspection.
21. At the time of building permit submittal, detailed lighting plans demonstrating compliance with the lighting standards shall be submitted for review and approval by the COBI.
22. All mechanical equipment shall either be located underground, incorporated into landscaping or integrated within the building or roof form of the building. Parapet walls may be used to screen roof top mechanical equipment as long as equipment is completely obscured from view and the parapet does not substantially detract from the building architecture.
23. Proposed fire station must be equipped with fire sprinklers and fire alarms as per the adopted code.

Staff Analysis

II. FINDINGS OF FACT

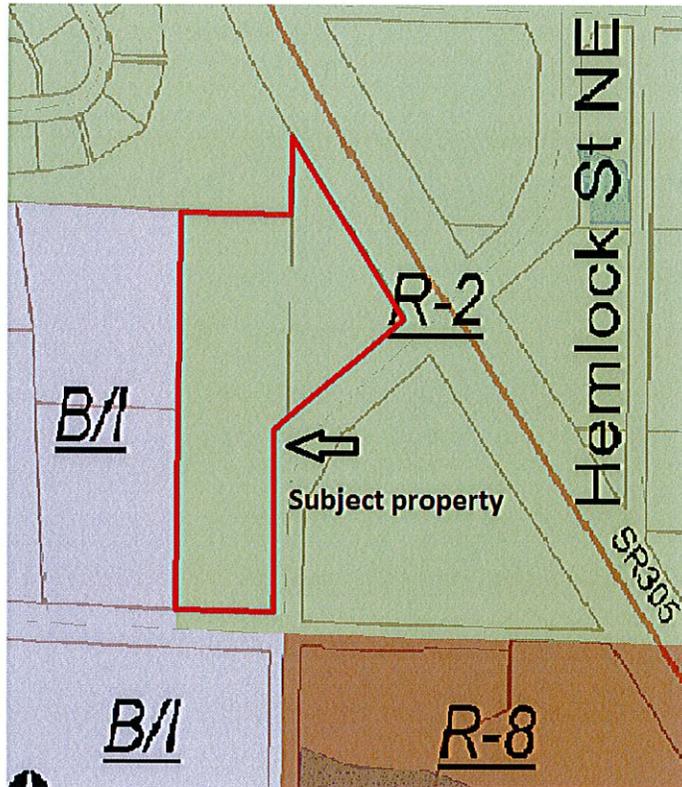
A. Site Characteristics

1. ASSESSOR'S RECORD INFORMATION:
222502-1-023-2000 and 4169-000-050-0206, Bainbridge Island Fire District, 3.91 Acres
2. TERRAIN:
The property relatively flat. The property has just a few trees around the perimeter of the property and a large triangle cluster at the corner of SR305 and Madison Avenue.



3. SITE DEVELOPMENT/EXISTING USE:
The site contains an existing fire station and related improvements, including parking, a memorial, helipad and living facilities.

4. ACCESS:
Vehicular access to the site is from Madison Avenue
5. PUBLIC SERVICES:
 - a. Police - Bainbridge Island Police Department
 - b. Fire - Bainbridge Island Fire District
6. EXISTING ZONING/ COMPREHENSIVE PLAN DESIGNATION:
R-2, 2 units per acre residential zone
OSR-2, Open Space Residential, two units per acre



7. SURROUNDING ZONING/COMPREHENSIVE PLAN DESIGNATION:
 - a. North: R-2
 - b. East: R-2
 - c. South: B/I
 - d. West: B/I
8. SURROUNDING USES:
 - a. North: Single-family Residential Development
 - b. East: Highway 305/Single Family
 - c. South: Mini Storage/Church
 - d. West: Bainbridge Artisan Network (under construction)

B. History

1. A pre-application conference was held December 1, 2015
2. The Design Review Board reviewed the pre-application proposal on December 21, 2015 and made several recommendations on the design (Attachment U).
3. A public participation meeting was held at the City on January 11, 2016. Comments and responses from that meeting are included as Attachment A.
4. A formal application for the Site Plan and Design Review and Conditional Use Permit were submitted on January 15, 2016 (Attachments B & C).
5. On February 22, 2016, the application was taken back to the Design Review Board, the board reviewed the revised drawings and recommended approval of the application (Attachment V).
6. Revisions to the application and submission documents were submitted on March 4, 2016.
7. A notice of technically complete application was issued on March 9, 2016, but requested additional information to be provided prior to the complete processing of the applications.
8. A Notice of Application/SEPA comment period was published and mailed out March 11, 2016.
9. Revisions to the application were received on April 29, 2016
10. On May 27th a memo from the City's Development engineer indicated the application was still deficient proper documentation regarding stormwater.
11. On June 7, 2016 a Preliminary Technical Information Report (drainage report) was submitted to the City.
12. On June 22, 2016 the Development Engineer provided a memo indicating that the revisions received from the applicant in April and the drainage report received in June were still deficient and that additional information and revisions were required.
13. On September 12th then again on September 23rd revised stormwater plans and technical documents were submitted.
14. The City Development Engineer reviewed the project and provided final comments and recommended conditions on October 6, 2016 (Attachment T).

C. Public Comment

No public comment was received during the official public comment period.

D. Comprehensive Plan Analysis

OS 4.2 The R-2 District is intended to recognize an existing development pattern of two units per acre. The subject development is proposed within the residential 1/2-acre zone. The Fire station is an essential public facility and is replacing an existing fire station. The changes to the station are being properly reviewed through the Site Plan and Design Review process as well as the Conditional Use Permit process to ensure compliance with the code requirements as well as compatibility with neighboring development.

SD 1.3 The City shall require new development to provide both on-site improvements and off-site improvements necessary to avoid adverse downstream water quality and quantity impacts. **The applicant has submitted an engineered comprehensive stormwater drainage plan that**

addresses downstream water quality and quantity impacts. The submitted plans were reviewed by and found to meet local and state regulations (Attachments T).

SD 1.4 Where appropriate and feasible, infiltration of stormwater is preferred over surface discharge to downstream systems. The return of uncontaminated precipitation to the soil at natural rates near where it falls should be encouraged through the use of detention ponds, grassy swales and infiltration facilities. **The stormwater drainage plan submitted with the application includes several of these features, including but not limited to rain gardens, and infiltration/dispersal systems that will allow water to return to the soil.**

E. Land Use Code Analysis

1. **BIMC Chapter 16.16 Noise Regulations**

The proposal is subject to noise regulations related to the construction hours and maximum environmental noise levels from the proposed uses on the property. Since the construction for this proposal will occur within 100 feet of residentially zoned properties, construction activities are limited to certain hours and days of the week in accordance with BIMC 16.16.025. The maximum allowed environmental noise levels are those allowed by state law, which include specific exemptions for emergencies.

2. **BIMC Chapter 18.06.0020C**

The purpose of the R-2 zone is to provide residential neighborhoods in an environment with special island character consistent with other land uses such as agriculture and forestry, and the preservation of natural systems and open space, at a somewhat higher density than the R-1 district. **The proposed reconstructed fire station is consistent with the purpose of this district as it is an essential public facility that directly serves the residential neighborhoods of the island in addition to the commercial zones. The subject property is well suited for a fire station as it only has residential uses on one side and that neighborhood is buffered from the station by a large open space area within the subdivision and a 25-foot buffer on the subject property.**

3. **BIMC Chapter 18.09.020 Permitted Use Table**

The permitted use table lists the multiple uses that are that are permitted and conditionally permitted within the R-2 zone. Included in those allowed by a conditional use permit are governmental facilities.

4. **BIMC Chapter 18.12 Dimensional Standards**

The proposed development is within the R-2 zone, therefore the maximum lot coverage for is 20 percent. **The proposed lot coverage for this development is approximately 13.1 percent overall (approximately 22,300 square feet of building footprint).**

The setback from the SR 305 right-of-way is a minimum of 50 feet in order to provide the required landscape buffer. The front yard setbacks along Madison Avenue and New Brooklyn Road are 25 feet, the proposed building is a minimum of 46 feet from the street. The required side setbacks are 5' minimum, however the perimeter buffers are larger. The north property line has a buffer of 25-feet and along the west property line the buffer is a minimum of 10 feet with an average of 20-feet.

The building height limitations for the R-2 zone is 30 feet, however non-residential structures that meet the conditional use decision criteria may go up to 35 feet. **The propose building has a height of 34 feet.**

5. **BIMC Chapter 18.15 Development Standards and Guidelines**

a. **18.15.010 Landscaping and Screening**

Since the proposal is located within the R-2 zone, the project has a required 25-foot average perimeter full-screen landscape buffer along the single-family use to the north and a 20-foot average perimeter full-screen landscape buffer to the business industrial zoned properties to the west. The development is also required to provide a 50-foot partial screen buffer to the SR305 right-of-way and a 25-foot partial screen along the Madison Avenue and New Brooklyn Road frontages. **The proposed development is providing the full 25 foot full-screen landscape buffer to the residential property along the north property line and is providing an averaged 20-foot landscape buffer along the west property line to accommodate fire apparatus access driveway (minimum proposed width of 13-feet). The proposal also provides existing landscape buffering along Madison Avenue and New Brooklyn Road, but much of the frontage is dedicated to access driveways and existing fire apparatus exit driveway.**

The parking lot landscaping requirement for the proposed development entails providing one tree for every four parking stalls as most of the parking areas are located to the side of the buildings. The project has a 43 parking stalls proposed; therefore 11 parking lot related trees will need to be planted. The applicant has proposed planting close to 129 new trees, which is in excess of the minimum required for the parking lot landscaping, the required buffers and the tree unit requirements. Also as required the landscaping plan properly designates landscape areas at the end of the parking stalls and aisles (Attachments P, Q & R).

The total site tree requirements for non-residential development within the R-2 zone is 40 tree units per acre. Each existing tree that is being preserved is given a tree unit value based on its size, then all proposed trees to be planted are also given a tree unit value. The property is 2.88 acres outside the required buffers; therefore, a total of 115.2 tree units would typically be required outside of the significant trees being preserved within required perimeter buffers or the roadside buffers. **The proposal is retaining 96.8 tree units and is proposing to plant 129 trees. While some of the replanted trees are required for the buffers and the parking lot tree planting requirements, the proposed retained trees in addition to the planted trees far exceed the minimum tree unit requirements. As conditioned, all landscaping and buffers need to be maintained throughout the life of the project and the proposed landscaping must be installed or an assurance device provided prior to any occupancy of the buildings (Condition 17).**

Retained trees within buffers and those needed to be retained to me the tree unit requirements require protection during construction. **The applicant has proposed tree protection strategies in compliance with the municipal code requirements including but not limited to construction fencing, dripline protection, soil amendment, and root pruning (Attachment Y). In addition, the City required and the applicant provided a Certified Arborist analysis of any tree proposed to be retained whose dripline/critical**

root zone would be affected by the construction. Her review, analysis and recommendations are included in Attachment Z.

b. **18.15.020 Parking and Loading**

The proposed building is proposed as a fire station facility; therefore, the parking regulations require enough spaces to meet the peak demand as verified by the Director. **As proposed, there are 43 parking spaces proposed, which exceeds the peak parking demand forecasted by the Bainbridge Island Fire Department, 28 spaces. While the Director recognizes the benefit of additional spaces, only the Planning Commission may approve parking spaces above the required spaces, which is the peak demand in this special case (Attachment AA).**

As required by this section of code the locations of the parking within this development are primarily to the sides or behind the proposed buildings (Attachment G). As conditioned, each parking stall is to meet the dimensional standards of Table 18.15.020-3 outside of required driving aisles or minimum sidewalk widths (Conditions 13).

c. **18.15.030 Mobility and access**

In order to define the circulation system and pedestrian separation, raised curbs shall be used to separate landscaping and raised walkways from parking stalls and drive aisles (Condition 19). In accordance with the regulations regarding mobility and access, all internal walkways shall be surfaced with nonskid hard surfaces and provide at least five feet of unobstructed width (Condition 14).

Bicycle spaces are required for the proposed station. A minimum of 9 bicycle spaces are required for this development. The site plan properly designates 10 available spaces that will serve both employees and the public (Condition 15).

d. **18.15.040 Outdoor Lighting**

In order to preserve and enhance the view of the dark sky and promote health, safety and security, outdoor lighting is to be shielded and maintained so there is no light trespass. All lighting shall be downcast and shielded such that it masks the horizontal surface of the light source. At the time of building permit submittal, detailed lighting plans demonstrating compliance with the lighting standards shall be submitted for review and approval by the City (Condition 21).

6. **BIMC Chapter 18.18 Design Guidelines**

The proposed project is subject to; the commercial and mixed-use design guidelines for all zoning districts. The application was first reviewed by the Design Review Board on December 21, 2015 during the pre-application conference phase of review. The Design Review Board made several suggestions during that meeting and the applicant responded by making several modifications to the design including but not limited to addressing the proposed entrance to the building, the visual approach from the south and the roofline (Attachment U).

The Design Review Board (DRB) again reviewed the proposal after the applicant had submitted the formal Site Plan and Design Review Application on February 22, 2016. The Board reviewed the design line checklist and found the design compliant with the guidelines but wanted to see the landscaping plans at the meeting on March 7, 2016. (Attachment V). At the March 7, 2016 meeting the landscape architect for the project presented the landscape plan and the DRB finalized their recommendation for approval of the station as designed (Attachment W).

7. BIMC Chapter 2.16.040 Site Plans and Design Review

The Bainbridge Island Fire Station 21 was properly submitted as a major site plan and design review application along with a major conditional use permit. Since this is a major conditional use permit and site plan and design review application, the applicant first applied for a pre-application conference and had the preliminary plans reviewed by the Design Review Board. The applicants met with the Design Review Board once during the pre-application phase of the project, on December 21, 2015. The application was also required to have a Public Participation Meeting, which was held January 11, 2016. The DRB reviewed the application again as part of their formal submittal on February 22, 2016 (Attachment V) As a Major Site Plan and Design Review, the application is properly before the Planning Commission for review in a public meeting. The Planning Commission is to provide a recommendation to the Hearing Examiner, who will issue a decision on the consolidated project. The staff recommends the Planning Commission recommend approval of the application with the conditions listed in this project report.

Decision Criteria

The Director and Planning Commission shall base their respective recommendations or decision on site plan and design review applications on the following criteria:

- a. The site plan and design is in conformance with applicable code provisions and development standards of the applicable zoning district; **As summarized in this staff report and in the materials prepared by the applicant, the application, with conditions, is in conformance with the Bainbridge Island Municipal Code.**
- b. The locations of the buildings and structures, open spaces, landscaping, pedestrian, bicycle and vehicular circulation systems are adequate, safe, efficient and in conformance with the non-motorized transportation plan; **The proposed site plan provides a building layout, parking and circulation system that are an efficient use of the available land while providing the required setbacks and screening from the adjacent properties and open spaces.**
- c. The Kitsap County Health District has determined that the site plan and design meets the following decision criteria:
- e. The proposal conforms to current standards regarding domestic water supply and sewage disposal; or if the proposal is not to be served by public sewers, then the lot has sufficient area and soil, topographic and drainage characteristics to permit an on-site sewage disposal system. **The Health District reviewed the project and had no comment.**
 - i. If the Health District recommends approval the application with respect to those items in subsection i., the health district shall so advise the director. **No comment.**

- ii. If the health district recommends disapproval of the application, it shall provide a written explanation to the director. **The Health District has not denied the application.**

- d. The city engineer has determined that the site plan and design meets the following decision criteria:
 - i. The site plan and design conforms to regulations concerning drainage in Chapters 15.20 and 15.21 BIMC; and

 - ii. The site plan and design will not cause an undue burden on the drainage basin or water quality and will not unreasonably interfere with the use and enjoyment of properties downstream; and

 - iii. The streets and pedestrian ways as proposed align with and are otherwise coordinated with streets serving adjacent properties; and

 - iv. The streets and pedestrian ways as proposed are adequate to accommodate anticipated traffic; and

 - v. If the site will rely on public water or sewer services, there is capacity in the water or sewer system (as applicable) to serve the site, and the applicable service(s) can be made available at the site; and

 - vi. The site plan and design conforms to the “City of Bainbridge Island Engineering Design and Development Standards Manual,” unless the city engineer has approved a variation to the road standards in that document based on his or her determination that the variation meets the purposes of BIMC Title 18.

The Development Engineer has reviewed the submitted civil plans and has found them to be consistent with these requirements. A detailed response and analysis is contained in her memo (Attachment T).

- e. The site plan and design is consistent with all applicable design guidelines in BIMC Title 18, unless strict adherence to a guideline has been modified as a housing design demonstration project pursuant to BIMC 2.16.020.Q; **The proposed development was reviewed by the Design Review Board during the pre-application stage of the development and during the Site Plan and Design Review process (Attachments U,V & W). The applicant has incorporated the applicable Design Review Board’s recommendations into the final design of the buildings and layout of the site. As now proposed, the design of the building form, wall articulation, roof form, landscaping and overall layout is consistent with the intent of the applicable design guidelines.**

- f. No harmful or unhealthful conditions are likely to result from the proposed site plan; **The proposed development is for a use conditionally allowed by the Municipal Code within the R-2 zoning district.**
 - g. The site plan and design is in conformance with the Comprehensive Plan and other applicable adopted community plans; **The proposed plan provides for the replacement of an essential public facility.**
 - h. Any property subject to site plan and design review that contains a critical area or buffer, as defined in Chapter 16.20 BIMC, conforms to all requirements of that chapter; **No critical areas are identified on the subject property.**
 - i. Any property subject to site plan and design review that is within shoreline jurisdiction, as defined in Chapter 16.12 BIMC, conforms to all requirements of that chapter; **The subject property is not within the shoreline jurisdiction.**
 - j. If the applicant is providing privately owned open space and is requesting credit against dedications for park and recreation facilities required by BIMC 17.20.020.C, the requirements of BIMC 17.20.020.D have been met; **The requirements of BIMC 17.20.020 are not applicable to this application because the proposal contains no new dwelling units.**
 - k. The site plan and design has been prepared consistent with the purpose of the site design review process and open space goals; **The proposed site plan was prepared consistent with the overall purpose and goals of the Site Plan and Design Review process. The process has provided a means for guiding the development in a logical, safe, attractive and expedient manner.**
 - l. For applications in the B/I zoning district, the site plan and development proposal include means to integrate and re-use on-site storm water as site amenities. **The subject property is not located within the B/I zoning district.**
8. **BIMC Chapter 2.16.110 Major Conditional Use Permit**
 The applicants have also properly applied for a major Conditional Use Permit to allow a fire station within the residential R-2 zoning district. Fire Stations are considered government facilities; therefore, they are required to be reviewed under the major Conditional Use Permit process. Since this Conditional Use Permit is part of a consolidated project review with the Site Plan and Design Review application, it was also subject to a pre-application conference, public participation meeting and Design Review Board recommendation. The role of the Planning Commission is to make a recommendation to the Hearing Examiner.

Decision Criteria

A conditional use may be approved or approved with conditions if:

The conditional use is harmonious and compatible in design, character and appearance with the intended character and quality of development in the vicinity of the subject property and with the physical characteristics of the subject property; provided, that in the case of a housing design demonstration project any differences in design, character or appearance that are in furtherance of the purpose and decision criteria of BIMC 2.16.020.Q. shall not result in denial of a Conditional Use Permit for the project; **The proposed development is for the renovation/redevelopment of an existing fire station, which is an essential public facility. While a couple of the surrounding uses are single-family residences, the fire station has been in existence and operation for many years. No public comment or concerns were raised during the public comment period. The other adjacent developments are a mini storage facility and the new Bainbridge Artisans Resource Network (BARN) building.**

- a. The conditional use will be served by adequate public facilities including roads, water, fire protection, sewage disposal facilities and storm drainage facilities; **As discussed in this staff report, with conditions, the proposed conditional use is adequately served by public roads, water, sewer, fire protection and proper storm drainage facilities will be constructed.**
- b. The conditional use will not be materially detrimental to uses or property in the vicinity of the subject property; **Allowing the reconstruction/expansion of the fire station will not be materially detrimental to uses in the vicinity. The use will continue with little change from the way it has operated for many years. Proper access, parking, circulation, landscaping are being provided.**
- c. The conditional use is in accord with the Comprehensive Plan and other applicable adopted community plans, including the Non-Motorized Transportation Plan; **As discussed in Section II. C of this report, the proposed conditional use is consistent with the goals and policies of the Comprehensive Plan.**
- d. The conditional use complies with all other provisions of the BIMC, unless a provision has been modified as a housing design demonstration project pursuant to BIMC 2.16.020.Q; **As detailed in this staff report, the conditional use complies, as does the building covered by the Site Plan Review, with all provisions of the BIMC.**
- e. All necessary measures have been taken to eliminate or reduce to the greatest extent possible the impacts that the proposed use may have on the immediate vicinity of the subject property;
- f. Noise levels shall be in compliance with BIMC [16.16.020](#) and 16.16.040.A; **While the project is required by law to be in compliance with BIMC 16.16.020, under emergency situations, it is likely that the noise standards will be exceeded by ambulances or fire trucks leaving the facility, also the facility will continue to provide the helipad for medivac.**
- g. The vehicular, pedestrian, and bicycle circulation meets all applicable city standards, unless the city engineer has modified the requirements of BIMC 18.15.020.B.4 and B.5, allows alternate driveway and parking area surfaces, and confirmed that those surfaces meet city requirements for handling surface water and pollutants in accordance with Chapters [15.20](#) and [15.21](#) BIMC; **The Site Plan Review application and the Conditional Use Permit application have been reviewed by the city's development engineer and as conditioned the vehicular, pedestrian, and bicycle circulation meets all applicable City standards and pollution controls. A detailed analysis prepared by the**

Development Engineer was provided to staff in memo (Attachment T). Pedestrian improvements are being required along New Brooklyn Road, by the City requiring the extension of the sidewalk, and by requiring a mid-block crossing on Madison Avenue (Conditions 6 & 7).

- h. The city engineer has determined that the conditional use meets the following decision criteria:
- i. The conditional use conforms to regulations concerning drainage in Chapters [15.20](#) and [15.21](#) BIMC; and
 - ii. The conditional use will not cause an undue burden on the drainage basin or water quality and will not unreasonably interfere with the use and enjoyment of properties downstream; and
 - iii. The streets and pedestrian ways as proposed align with and are otherwise coordinated with streets serving adjacent properties; and
 - iv. The streets and pedestrian ways as proposed are adequate to accommodate anticipated traffic; and
 - v. If the conditional use will rely on public water or sewer services, there is capacity in the water or sewer system (as applicable) to serve the conditional use, and the applicable service(s) can be made available at the site; and
 - vi. The conditional use conforms to the "City of Bainbridge Island Engineering Design and Development Standards Manual," unless the city engineer has approved a variation to the road standards in that document based on his or her determination that the variation meets the purposes of BIMC Title [17](#).

The city's Development Engineer has reviewed the Conditional Use Permit and Site Plan and Design Review application for consistency with each of the above criteria and has found the design and specifications to be consistent and in compliance with the above criteria or has recommended proper conditions to address the concerns (Attachment T).

- i. If a major conditional use is processed as a housing design demonstration project pursuant to BIMC 2.16.020.Q, the above criteria will be considered in conjunction with the purpose, goals, policies, and decision criteria of BIMC 2.16.020.Q. **The proposal is not a housing design demonstration project.**
- j. Additional Decision Criteria for Institutions in Residential Zones. Applications to locate any of those uses categorized as educational facilities, governmental facilities, religious facilities, health care facilities, cultural facilities, or clubs in Table 18.09.020 in residential zones shall be processed as major conditional use permits and shall be required to meet the following criteria, in addition to those in subsection D of this section:
 - 1. All sites must front on roads classified as residential suburban, collector, or arterial on the Bainbridge Island functional road classification map. **The subject property is fronting on Madison Avenue which is a collector road.**
 - 2. If the traffic study shows an impact on the level of service, those impacts have been mitigated as required by the city engineer. **The submitted trip generation data did not show a change to the level of service requiring mitigation. The project is increasing the PM peak hour trips by five trips and increasing trips overall by less than 49, therefore a traffic study was not required.**

3. If the application is located outside of Winslow study area, the project shall provide vegetated perimeter buffers in compliance with BIMC [18.15.010](#). **The proposal is within the Winslow study area, but will still be providing buffers in accordance with 18.15.010.**
4. The proposal meets the requirements of the commercial/mixed use design guidelines in BIMC [18.18.030.C](#). **The proposal is consistent with the commercial/mixed use design guidelines as far as they were applicable. The DRB reviewed the project and has provided a recommendation of approval (Attachments U, V & W).**
5. The scale of proposed construction including bulk and height and architectural design features is compatible with the immediately surrounding area. **As a fire station, the construction has unique architectural style, however it will be compatible with the immediate surrounding properties which include a church, a mini storage facility and the new Bainbridge Artisans Resource Network (BARN) building.**
6. If the facility will have attendees and employees numbering fewer than 50 or an assembly seating area of less than 50, the director may waive any or all the above requirements in this subsection E, but may not waive those required elsewhere in the BIMC. **No requirements were waived.**
7. Lot coverage does not exceed 50 percent of the allowable lot coverage in the zone in which the institution is located, except that existing public schools and governmental facilities, as defined in BIMC Title [18](#), shall be allowed 100 percent of the lot coverage established in the underlying zoning district in which it is located unless conditions are required to limit the lot coverage to mitigate impacts of the use. **This construction is replacing an existing governmental facility therefore it is allowed 100 percent of the underlying lot coverage. The proposal is to use only 13% lot coverage when 20 % would be allowed.**

9. **BIMC Chapter 2.16.170 Consolidated Project Review**

When an applicant has two or more land use applications, they may request that the applications be processed under a single consolidated project review process. **The proposed project requires both Site Plan and Design Review in addition to a Conditional Use Permit. The two applications are being reviewed under the consolidated project review provisions.**

F. Environmental Review:

A SEPA Mitigated Determination of Nonsignificance was issued by the SEPA Official on October 11, 2016.

III. **CONCLUSIONS**

Staff's Conclusion

10. As conditioned, the proposed project is consistent with the Comprehensive Plan, the applicable sections of the Bainbridge Island Municipal Code including: BIMC Chapter 16.16 Noise Regulations; BIMC Chapter 18.06.0020C R-2 Zone; BIMC 18.09.020 Permitted Use Table; 18.12 Dimensional Standards; BIMC 18.15.010 Landscaping and Screening; BIMC 18.15.020 Parking and loading; BIMC 18.15.030 Mobility and access; BIMC 18.15.040 Outdoor Lighting; and BIMC 18.18 Design Guidelines; BIMC 2.16.040 Site Plans and Design Review; and BIMC Chapter

2.16.170 Consolidated Project review. Appropriate notice of application was made, and a SEPA Mitigated Determination of Non-significance was issued. The application is properly before the Planning Commission in a public meeting.

IV. Attachments:

- A. Public Participation Meeting Summary and comment matrix
- B. Site Plan and Design Review Application, Submitted January 15, 2016
- C. Conditional Use Permit Application, Submitted January 15, 2016
- D. Vicinity Map/Aerial Photo of Site
- E. Project Summary/Introduction/Description of Proposal by Architect
- F. Existing Site Conditions Map
- G. Site Plan Map
- H. First Floor Plan
- I. Second Floor Plan
- J. Elevation Drawings
- K. Building Section
- L. Street Perspective Drawing
- M. High Angle Perspective Drawing
- N. Tree Retention Plan
- O. Plant Schedule
- P. Planting Plan (South)
- Q. Planting Plan (North)
- R. Planting Plan (East)
- S. Landscape Buffer Diagram
- T. Development Engineer Project Review Memo
- U. Design Review Board Minutes, December 21, 2015
- V. Design Review Board Minutes, February 22, 2016
- W. Design Review Board Minutes, March 7, 2016
- X. Bainbridge Island Fire Department Memo/Recommendation
- Y. Landscape Plan Supplemental Information
- Z. Arborist Analysis of trees potential impacts by development
- AA. Letter from Mackenzie regarding parking demand

Redevelop the existing fire station 21 located at 8895 Madison Avenue North as a two-story, approximately 30,760 sf building with living quarters, meeting spaces, offices, storage areas and an apparatus bay, with associated site improvements. The existing memorial is to be preserved; the flagpoles are to be relocated. The existing helicopter landing pad and fence in the southern portion of the site are to be preserved.

Redevelop the existing fire station 22 located at 7934 Bucklin Hill Road as a two-story, approximately 16,808 sf building with living quarters, meeting spaces, offices, storage areas and an apparatus bay with associated site improvements. The existing flag poles will be relocated.

ISSUE/QUESTION	RESPONSE FROM APPLICANT OR CITY
Was the facility considered to have a joint police/fire building?	It was originally considered but as of 2014 there was a vote to not combine the two.
Does this plan prohibit a combined facility?	Yes, this is only large enough for fire. The land is too small for a combined facility.
What is the acreage of Station 21?	3.91 acres.
Have you looked into geothermal?	Yes, but the size and cost make it prohibitive.
Are both buildings being replaced or remodeled?	Replaced.
How big are the existing buildings compared to the proposed?	Building 21 is approximately 1/3 rd larger than the existing.
How many parking spaces for the public is there at Station 21? Is there more or less than existing?	The same amount is proposed.
Would you consider a safe route from bus stop on 305 to the Barn property through the Fire station?	Our concern is for safety due to the helipad. We will look into a possible pedestrian connection.
Why are you proposing 9 bays?	We are designing for 50 years and anticipate extra bays for engines and EMS services.

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.
PENCIL WILL NOT BE ACCEPTED.



<p><u>DATE STAMP FOR CITY USE ONLY</u></p> <p style="font-size: 1.2em; color: blue;">City of Bainbridge Island</p> <p style="font-size: 1.2em; color: blue;">JAN 15 2016</p> <p style="font-size: 1.2em; color: blue;">Planning and Community Development</p>	<p style="text-align: center;"><u>TO BE FILLED OUT BY APPLICANT</u></p> <p>PROJECT NAME: BAINBRIDGE ISLAND FIRE DEPARTMENT, STATION 21</p> <hr/> <p>TAX ASSESSOR'S NUMBER: <u>222502-1-023-2000</u></p> <p style="margin-left: 150px;"><u>4169-000-050-0206</u></p> <hr/> <p>PROJECT STREET ADDRESS OR ACCESS STREET: 8895 MADISON AVENUE N</p> <hr/> <p>ENVIRONMENTAL CHECKLIST SUBMITTED : <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <hr/> <p style="text-align: center;"><u>FOR CITY USE ONLY</u></p> <p>FILE NUMBER: _____</p> <p>PROJECT NUMBER: _____</p> <p>DATE RECEIVED: _____</p> <p>APPLICATION FEE: _____</p> <p>TREASURER'S RECEIPT NUMBER: _____</p>
<p>SUBMITTAL REQUIREMENTS</p>	
APPLICATION	<i>One original (which must contain an original signature) and six copies</i> must be provided. Whenever possible, originals must be <i>signed in blue</i> . Please identify the original document.
SUPPORTING DOCUMENTS	<i>One original (which must contain an original signature)</i> , where applicable, and <i>six copies</i> (if an original is not applicable, <i>seven copies</i> must be provided).
FULL-SIZE DRAWINGS	<i>Seven copies</i> of the required drawings must be provided. Drawings <i>must be folded and 18" x 24"</i> in size. <i>No construction drawings or other sized drawings</i> will be accepted unless specifically requested.
REDUCED DRAWINGS	<i>Five copies</i> of the drawings reduced to 11" x 17" must be provided.
SUBMITTING APPLICATIONS	Applications <i>must be submitted in person</i> by either the owner or the owner's designated agent. Should an agent submit the application, a <i>notarized Owner/Agent Agreement</i> must accompany the application. Please call (206) 780-3762 to make an appointment to submit your application.
FEES	Please call the Department of Planning & Community Development for submittal fee information.
ATTACHED SUBMITTAL CHECKLIST	Please refer to attached Submittal Checklist for further information. NOTE: when submitting this application, please do not copy or include the Submittal Checklist sheets attached to the back of this application.
<p>APPLICATIONS WILL NOT BE ACCEPTED unless these basic requirements are met and the submittal packet is deemed counter complete.</p>	

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812
PHONE: (206) 842-2550 • FAX: (206) 780-2055 • EMAIL: planning@bainbridgewa.gov

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

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A. GENERAL INFORMATION

1. Name of property owner: Bainbridge Island Fire Department
Address: 8895 Madison Avenue N, Bainbridge Island, WA 98110
Phone: (206) 842-7633 Fax: _____
E-mail: Lcarpenter@bifd.org

Name of property owner: _____
Address: _____
Phone: _____ Fax: _____
E-mail: _____

Name of property owner: _____
Address: _____
Phone: _____ Fax: _____
E-mail: _____

If the owner(s) of record as shown by the county assessor's office is (are) not the agent, the owner's (owners') signed and notarized authorization(s) must accompany this application.

2. Applicant/agent: Michael Chen, Mackenzie
Address: Logan Building, 500 Union Street, Suite 545, Seattle, WA 98101
Phone: (206) 749-9993, Extension 513 Fax: (206) 749-5565
E-mail: MChen@mcknze.com

3. Name of land surveyor: Adam & Goldsworthy, Inc.
Address: 1015 NE Hostmark Street, Suite 103, Poulsbo, WA 98370
Phone: (360) 779-4299 Fax: (360) 779-4213
E-mail: info@agols.com

4. Planning department personnel familiar with site: Nan Gladstein, Josh Machen

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CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

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5. Description of proposal: Redevelopment of existing fire station as two-story, approximately 30,760-square foot building with living quarters, meeting spaces, offices, storage areas, and an apparatus bay, with associated site improvements. Existing helicopter pad and fence in southern portion of site to be preserved.

6. Driving directions to site: The site is accessible from Madison Avenue N to the east.

7. Please give the following existing parcel information:

Assessor's Parcel Number	Parcel Owner	*Lot Area
222502-1-023-2000	City of Bainbridge Island	2.8 ac.
4169-000-050-0206	City of Bainbridge Island	1.1 ac.
Use additional sheet if necessary		Total of all parcels: 3.91

* As defined in Bainbridge Island Municipal Code 18.12.050

8. Legal description (or attach): 22252E THE E 208FT OF S1/2 SE1/4 NE1/4 PER SC NO.68005 TGW WLY 30FT OF TH PTN OF VAC CO RD PER CJ 13 PAGE 129

9. Current comprehensive plan, zoning and shoreline designations and use of subject parcel(s):

Lot Number	Comp Plan Designation	Zoning Designation	Shoreline Designation	Current Use
Lot 222502-1-023-2000	OSR-2	R-2		Existing fire station
Lot 4169-000-050-0206	OSR-2	R-2		Existing fire station
Lot				
Lot				

10. Current comprehensive plan, zoning and shoreline designations and use of adjacent properties:

Property	Comp Plan Designation	Zoning Designation	Shoreline Designation	Current Use

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North	OSR-2	R-2		Residential subdivision
South	CZ-2	B/I		Commercial storage
East	OSR-2	R-2		Church
West	B/I	B/I		Residential

11. Common name of adjacent water area or wetlands area: N/A

12. Does the site contain an environmentally sensitive area as defined in Critical Areas Ordinance (*Bainbridge Island Municipal Code Chapter 16.20*)? yes no unknown

If yes, check as appropriate:

<input type="checkbox"/> wetland*	<input type="checkbox"/> geologically hazardous area**
<input type="checkbox"/> wetland buffer*	<input type="checkbox"/> zone of influence**
<input type="checkbox"/> stream*	<input type="checkbox"/> slope buffer**
<input type="checkbox"/> stream buffer*	<input type="checkbox"/> fish and wildlife habitat area

* If your site includes a wetland or wetland buffer, a wetland report is required with your application.

** If your site includes a geologically hazardous area or is within the zone of influence as defined in *Bainbridge Island Municipal Code 16.20*, a geotechnical report may be required with your application.

13. Are there underlying/overlying agreements on the property? yes no unknown
If yes, check as appropriate and provide a copy of the decision document:

<input checked="" type="checkbox"/> CUP Conditional Use Permit	<input checked="" type="checkbox"/> SPR Site Plan Review
<input type="checkbox"/> MPD Master Planned Development	<input type="checkbox"/> SPT Short Plat
<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SSDP Shoreline Permit
<input type="checkbox"/> REZ Contract Rezone	<input type="checkbox"/> SUB Prior Subdivision
<input type="checkbox"/> RUE Reasonable Use Exception	<input type="checkbox"/> VAR Zoning Variance
	<input type="checkbox"/> Other:

Under which jurisdiction was the approval given?

City of Bainbridge Island Kitsap County Approval date: Varies

14. Is there any other information which is pertinent to this project? yes no

If yes, please explain: _____

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SITE PLAN AND DESIGN REVIEW APPLICATION

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B. TECHNICAL INFORMATION

1. Name of water purveyor: City of Bainbridge Island
 If a private well, what class? N/A

2. Type of sewage disposal: on-site septic off-site septic sewer
 Sewer district: City of Bainbridge Island Sewer District 7

3. General description of the existing terrain: The site is relatively flat, fully developed, with no known geological concerns.

4. Soil survey classification: Geotechnical information on the site is available from Aspect Consulting; soil types found on the site include sand, gravel, and silt.

5. Flood plain designation: X AE

6. Access (street functional road classifications):

Street Type	Required ROW Width	Street Name	Existing ROW Width
primary arterial	150 feet	Highway 305	150 feet (assumed)
secondary arterial	60 feet	Madison Avenue N & NE New Brooklyn Road	60 feet
collector	50 feet		
residential urban	40 feet		
residential suburban	30 feet		
private	20 - 30 feet		

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SITE PLAN AND DESIGN REVIEW APPLICATION

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7. Sidewalks are adjacent to the parcel: yes no

If yes, existing sidewalks are _____ feet wide.

Sidewalk installation is proposed as part of the development project: yes no

Proposed sidewalks: adjacent to the parcel and are to be _____ feet wide.

internal to the proposal and are to be 5-7 feet wide.

8. Intended use of the land, as well as the sequence and timing of the proposed development:

The land is proposed for redevelopment under the same use as a fire station.

Pending the required approvals, construction is expected to start in the fall of 2016 and to be complete in 2018.

9. Floor area ratio: 0.18

10. Dimensions of proposed structures: Proposed GSF: 30,760 SF; proposed lot coverage: 22,270 SF/13.1%

11. Height of proposed buildings or structures: 34'-0" (maximum, highest overhang/roofline)

12. Square footage of all spaces:	storage:	<u>3,289 square feet</u>
retail: <u>N/A</u>	residential:	<u>4,920 square feet</u>
office: <u>8,640 square feet</u>	other:	<u>13,977 square feet (apparatus bay and support spaces)</u>

13. Number of stories proposed: 2

14. Square feet per story: (1) 22,270 square feet (2) 8,490 square feet (3) N/A

15. Setback requirements:	north: <u>5-15 feet</u>	south: <u>5-15 feet</u>
	east: <u>25 feet</u>	west: <u>15 feet</u>

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SITE PLAN AND DESIGN REVIEW APPLICATION

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16. Number of parking stalls required: 40
17. Number of parking stalls proposed: 40
18. Amount of square footage of proposed paved areas: 51,874 square feet
19. Square footage of building area: 22,270 square feet
20. Percent of site to be covered by impervious surfaces: 43.5%
(If the proposal results in more than 1,000 square feet of additional impervious surface, a drainage plan shall be required.)
21. Percentage of site to be covered by landscaping: 56.5%
22. Percentage of parking area to be covered by landscaping: 10.3%
23. Percentage of site to remain undeveloped: 56.5%
24. Is the applicant proposing any terms, conditions, covenants and agreements or other documents regarding the intended development: (If yes, attach copies)
 yes no unknown
25. List any other permits for this project from state, federal or local governmental agencies for which you have applied or will apply, including the name of the issuing agency, whether the permit has been applied for, and if so, the date the application was approved or denied, and the application or permit number:
Conditional Use Permit Approval, SEPA Determination, Building Permit:
City of Bainbridge Island
NPDES Permit: Washington State Department of Ecology
26. Will the completed project result in 800 or more square feet of impervious surface (building footprint + driveways + parking)? yes no unknown
27. Will the project result in clearing more than six significant trees or 2,500 square feet of ground? yes no unknown

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28. Do storm water systems exist on the site? yes no unknown

If yes, were they constructed after 1982? yes no unknown

If yes, what type of storm water system exists on the site?

infiltration open ditching closed conveyance detention

29. Will the completed project result in excavating of or filling in:

less than 50 cubic yards. more than 50 cubic yards but less than 100 cubic yards. more than 100 cubic yards.

I hereby certify that I have read this application and know the same to be true and correct.

[Handwritten Signature]

*Signature of owner or authorized agent

January 14, 2016

Date

Michael Chen

Please Print

**If signatory is not the owner of record, the attached "Owner/Agent Agreement" must be signed and notarized.*

SUBMITTAL REQUIREMENTS FOR SITE PLAN AND DESIGN REVIEW APPLICATION

Submittal Documents. Application for site plan and design review may be made after the completion of a pre-application conference. Applications must be submitted by the owner or others authorized by the owner in person at the City of Bainbridge Island, Department of Planning and Community Development. A complete application shall include the items listed below (unless waived in writing by the Director or Project Manager).

- An application form provided by the City with the notarized signatures of all property owners or an owner/applicant agreement with the notarized signatures of all property owners.
- An application fee in the amount specified by the City.
- A complete and detailed written statement of the intended use of the land, the sequence and timing of the proposed development and the applicant's intentions with regard to the proposed ownership of land areas, dwelling units, if any, and commercial buildings within the development, both during and after construction. The statement shall include the following:
 - Intended use of the land, including the phasing of street improvements, including road construction, acreage of road area and percentage it represents of the total land area;
 - The availability and phasing of water system extensions;
 - The method of sewage disposal to include the availability and phasing of system extensions; and
 - Phasing of on- and off-site requirements such as sidewalks, bike paths, or improvements of adjacent streets;
- A site plan in compliance with the requirements in "Drawing Content" section below;
- Architectural drawings, including floor plan, building elevation and building sections;
- Analysis of how the project meets design guidelines, if applicable;
- Storm drainage design;
- The proposed method of ensuring permanent retention and maintenance of circulation system, storm drainage system, sewage disposal system, parks, open space or other common private or public facilities;
- Landscaping Plan
- The terms, conditions, covenants, and agreements under which the subject property is bound, if any;
- An environmental checklist when required by the State Environmental Policy Act and BIMC 16.04;
- Land dedicated for park and recreational facilities, if applicable;
- For developments within the Business/Industrial (B/I) district, designated open space areas required pursuant to BIMC 18.06.060.C.1; and
- Any other graphic materials required to adequately describe how the proposal meets specific regulations and guidelines, such as color palettes, material boards, and computerized models;
- Other plans and information deemed necessary by the director for evaluation of the merits of the proposal; and
- For installation of outdoor lighting fixtures, evidence of compliance with the requirements of chapter 18.15.040, Outdoor Lighting, on a form provided by the department of planning and community development.

Drawing Format

Required size: 18" x 24"

Minimum scale: 1" = 100'

Border: 1" minimum all sides

SUBMITTAL REQUIREMENTS FOR SITE PLAN AND DESIGN REVIEW APPLICATION

Identification Information (to be included on each page of each drawing)

- ___ 1. Project title
- ___ 2. Space for the Dept. of Planning and Community Development's application number
- ___ 3. Name of property owner(s).
- ___ 4. Sheet title (road, drainage, grading, utility, temporary erosion and sedimentation control, site constraints, etc.)
- ___ 5. Revision block
- ___ 6. Quarter Section, Section, Township and Range in which property is located.
- ___ 7. Date drawings were prepared.
- ___ 8. Page numbers and total number of pages.
- ___ 9. Name, address, phone number, and E-mail address of professional who prepared the drawing.
- ___ 10. North arrow with north at top or left side of sheet
- ___ 11. Graphic scale.
- ___ 12. Elevation datum and benchmark

Drawing Content

- ___ 1. Vicinity map showing the proposed project site, easements and major city streets. Map shall, at a minimum, show adjacent streets and lots in sufficient manner to reasonably locate the site.
- ___ 2. Location, name, width, and ownerships of all existing and proposed boundaries, streets, roads, rights-of-way, or easements on or adjacent to the subject property.
- ___ 3. Circulation plans on and off the site, including pedestrian, bicycle and transit access, delineated parking spaces, location of locking bicycle space, etc.
- ___ 4. Location of all existing structures and improvements on or adjacent to the subject property.
- ___ 5. Location of proposed improvements.
- ___ 6. Utilities plans.
- ___ 7. Location of all existing vegetation, including all trees over six inches in diameter, on the subject property.
- ___ 8. Topography at appropriate contour intervals.
- ___ 9. Location of all existing watercourses, slopes, critical areas and other natural features on the subject property.
- ___ 10. Any other plans deemed necessary for evaluation.

CITY OF BAINBRIDGE ISLAND

CONDITIONAL USE PERMIT APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.
 PENCIL WILL NOT BE ACCEPTED.



<p>DATE STAMP FOR CITY USE ONLY</p> <p style="color: blue; font-size: 1.2em;">City of Bainbridge Island</p> <p style="color: blue; font-size: 1.2em;">JAN 15 2016</p> <p style="color: blue; font-size: 1.2em;">Planning and Community Development</p>	<p style="text-align: center;"><u>TO BE FILLED OUT BY APPLICANT</u></p> <p>PROJECT NAME: BAINBRIDGE ISLAND FIRE DEPARTMENT, STATION 21</p> <p>TAX ASSESSOR'S NUMBER: <u>222502-1-023-2000</u> <u>4169-000-050-0206</u></p> <hr/> <p>PROJECT STREET ADDRESS OR ACCESS STREET: 8895 MADISON AVENUE N</p> <p>ENVIRONMENTAL CHECKLIST SUBMITTED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <p style="text-align: center;"><u>FOR CITY USE ONLY</u></p> <p>FILE NUMBER: _____</p> <p>PROJECT NUMBER: _____</p> <p>DATE RECEIVED: _____</p> <p>APPLICATION FEE: _____</p> <p>TREASURER'S RECEIPT NUMBER: _____</p>
---	---

SUBMITTAL REQUIREMENTS	
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REDUCED DRAWINGS	<i>Two copies (five if commercial)</i> of the drawings reduced to 11" x 17" must be provided.
SUBMITTING APPLICATIONS	Applications <i>must be submitted in person</i> by either the owner or the owner's designated agent. Should an agent submit the application, a <i>notarized Owner/Agent Agreement</i> must accompany the application. Please call (206) 780-3762 to make an appointment to submit your application.
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**APPLICATIONS WILL NOT BE ACCEPTED
 unless these basic requirements are met and the submittal packet is deemed counter complete.**

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 PHONE: (206) 842-2555 ibridgewa.gov

CITY OF BAINBRIDGE ISLAND

CONDITIONAL USE PERMIT APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.

PENCIL WILL NOT BE ACCEPTED.



A. GENERAL INFORMATION

Please indicate which of the following is the reason for which you are applying:

_____ Height Use

1. Name of property owner: Bainbridge Island Fire Department
Address: 8895 Madison Avenue N, Bainbridge Island, WA 98110
Phone: (206) 842-7686 Fax:
E-mail:

Name of property owner:
Address:
Phone: Fax:
E-mail:

Name of property owner:
Address:
Phone: Fax:
E-mail:

If the owner(s) of record as shown by the county assessor's office is (are) not the agent, the owner's (owners') signed and notarized authorization(s) must accompany this application.

2. Authorized agent: Michael Chen, Mackenzie
Address: Logan Building, 500 Union Street, Suite 545, Seattle, WA 98101
Phone: (206) 749-9993, Extension 513 Fax: (206) 749-5565
E-mail: MChen@mcknze.com

3. Person responsible for payment: Luke Carpenter, Assistant Chief, Bainbridge Island Fire Department
Address: 8895 Madison Avenue N, Bainbridge Island, WA 98110
Phone: (206) 451-2033 Fax:
E-mail: Lcarpenter@bifd.org

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CITY OF BAINBRIDGE ISLAND

CONDITIONAL USE PERMIT APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.

PENCIL WILL NOT BE ACCEPTED.



4. Project contact: Michael Chen, Mackenzie
 Address: Logan Building, 500 Union Street, Suite 545, Seattle, WA 98101
 Phone: (206) 749-9993, Extension 513 Fax: (206) 749-5565
 E-mail: MChen@mcknze.com

5. Name of land surveyor: Adam & Goldsworthy, Inc.
 Address: 1015 NE Hostmark Street, Poulsbo, WA 98370
 Phone: (360) 779-4299 Fax: (360) 779-4213
 E-mail: info@agols.com

6. Planning department personnel familiar with site: Nan Gladstein, Josh Machen

7. Description of proposal: Redevelopment of existing fire station as two-story, approximately 30,760-square foot building with living quarters, meeting spaces, offices, storage areas, and an apparatus bay, with associated site improvements. Existing memorial to be preserved, flagpoles to be relocated. Existing helicopter landing pad and fence in southern portion of site to be preserved.

8. Driving directions to site: The site is accessible from Madison Avenue N to the east.

9. Please give the following existing parcel information:

Assessor's Parcel Number	Parcel Owner	*Lot Area
222502-1-023-2000	City of Bainbridge Island	2.8 ac.
4169-000-050-0206	City of Bainbridge Island	1.1 ac.
Use additional sheet if necessary	Total of all parcels:	3.91

* As defined in Bainbridge Island Municipal Code 18.12.050

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10. Legal description (or attach): 22252E THE E 208FT OF S1/2 SE1/4 NE1/4 PER
SC NO.68005 TGW WLY 30FT OF TH PTN OF VAC CO RD PER CJ 13
PAGE 129

11. Current comprehensive plan, zoning and shoreline designations and use of subject parcel(s):

Lot Number	Comp Plan Designation	Zoning Designation	Shoreline Designation	Current Use
Lot 222502-1-023-2000	OSR-2	R-2		Existing fire station
Lot 4169-000-050-0206	OSR-2	R-2		Existing fire station
Lot				
Lot				

12. Current comprehensive plan, zoning and shoreline designations and use of adjacent properties:

Property	Comp Plan Designation	Zoning Designation	Shoreline Designation	Current Use
North	OSR-2	R-2		Residential subdivision
South	CZ-2	B/I		Commercial storage
East	OSR-2	R-2		Church
West	B/I	B/I		Residential

13. Common name of adjacent water area or wetlands area: _____ N/A

14. Does the site contain an environmentally sensitive area as defined in Critical Areas Ordinance (*Bainbridge Island Municipal Code Chapter 16.20*)? yes no unknown

If yes, check as appropriate:

<input type="checkbox"/> wetland*	<input type="checkbox"/> geologically hazardous area**
<input type="checkbox"/> wetland buffer*	<input type="checkbox"/> zone of influence**
<input type="checkbox"/> stream*	<input type="checkbox"/> slope buffer**
<input type="checkbox"/> stream buffer*	<input type="checkbox"/> fish and wildlife habitat area

* If your site includes a wetland or wetland buffer, a wetland report is required with your application.

** If your site includes a geologically hazardous area or is within the zone of influence as defined in *Bainbridge Island Municipal Code 16.20*, a geotechnical report is required with your application.

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15. Are there underlying/overlying agreements on the property? yes no unknown
 If yes, check as appropriate and provide a copy of the decision document: Please see list of land use decisions included with Conditional Use Permit Narrative.

<input checked="" type="checkbox"/> CUP Conditional Use Permit	<input checked="" type="checkbox"/> SPR Site Plan Review
<input type="checkbox"/> MPD Master Planned Development	<input type="checkbox"/> SPT Short Plat
<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SSDP Shoreline Permit
<input type="checkbox"/> REZ Contract Rezone	<input type="checkbox"/> SUB Prior Subdivision
<input type="checkbox"/> RUE Reasonable Use Exception	<input type="checkbox"/> VAR Zoning Variance
	<input type="checkbox"/> Other: _____

Under which jurisdiction was the approval given?

City of Bainbridge Island Kitsap County

Approval date: Varies

16. Is there any other information which is pertinent to this project? yes no

If yes, please explain: _____

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B. TECHNICAL INFORMATION

1. Name of water purveyor: City of Bainbridge Island
If a private well, what class? N/A

2. Type of sewage disposal: on-site septic off-site septic sewer
Sewer district: City of Bainbridge Island Sewer District 7

3. General description of the existing terrain: The site is relatively flat, fully developed, with no known geological concerns.

4. Soil survey classification: Geotechnical information on the site is available from Aspect Consulting; soil types found on the site include sand, gravel, and silt.

5. Flood plain designation: X AE

6. Access (street functional road classifications):

Street Type	Required ROW Width	Street Name	Existing ROW Width
primary arterial	150 feet	Highway 305	150 feet (assumed)
secondary arterial	60 feet	Madison Avenue N & NE New Brooklyn Road	60 feet
collector	50 feet		
residential urban	40 feet		
residential suburban	30 feet		
private	20 - 30 feet		

7. Sidewalks are adjacent to the parcel: yes no
If yes, existing sidewalks are _____ feet wide.
Sidewalk installation is proposed as part of the development project: yes no

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Proposed sidewalks: adjacent to the parcel and are to be _____ feet wide.
 internal to the proposal and are to be 5-7 feet wide.

8. Intended use of the land, as well as the sequence and timing of the proposed development:
The land is proposed for redevelopment under the same use as a fire station.
Pending the required approvals, construction is expected to start in the fall of
2016 and to be complete in 2018.

9. Dimensions of proposed structures: Proposed GSF: 30,760 SF; proposed lot
coverage: 22,270 SF/13.1%

10. Height of proposed buildings or structures: 34'-0" (maximum, highest
overhang/roofline)

11. Square footage of all spaces:
retail: N/A storage: 3,289 square feet
office: 8,640 square feet residential: 4,920 square feet
other: 13,977 square feet
(apparatus bay and support spaces)

12. Number of stories proposed: 2

13. Square feet per story: (1) 22,270 square feet (2) 8,490 square feet (3) N/A

14. Setback requirements:
north: 5-15 feet south: 5-15 feet
east: 25 feet west: 15 feet

15. Number of parking stalls required: 40

16. Number of parking stalls proposed: 40

17. Amount of square footage of proposed paved areas: 51,874 square feet

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18. Square footage of building area: 22,270 square feet

19. Percent of site to be covered by impervious surfaces: 43.5%
(If the proposal results in more than 1,000 square feet of additional impervious surface, a drainage plan shall be required.)

20. Percentage of site to be covered by landscaping: 56.5%

21. Percentage of parking area to be covered by landscaping: 10.3%

22. Percentage of site to remain undeveloped: 56.5%

23. Is the applicant proposing any terms, conditions, covenants and agreements or other documents regarding the intended development: (If yes, attach copies)
[] yes [x] no [] unknown

24. Is the proposal part of a phased development plan? (If so, an outline of the future plans must be submitted.)
N/A

25. List any other permits for this project from state, federal or local governmental agencies for which you have applied or will apply, including the name of the issuing agency, whether the permit has been applied for, and if so, the date the application was approved or denied, and the application or permit number:
Site Plan and Design Review Approval, SEPA Determination, Building Permit:
City of Bainbridge Island
NPDES Permit: Washington State Department of Ecology

26. Will the completed project result in 800 or more square feet of impervious surface (building footprint + driveways + parking)?
[x] yes [] no [] unknown

27. Will the project result in clearing more than six significant trees or 2,500 square feet of ground?
[x] yes [] no [] unknown

28. Do storm water systems exist on the site?
[x] yes [] no [] unknown

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If yes, were they constructed after 1982?

yes no unknown

If yes, what type of storm water system exists on the site?

infiltration open ditching closed conveyance detention

29. Will the completed project result in excavating of or filling in:

less than 50 cubic yards. more than 50 cubic yards but less than 100 cubic yards. more than 100 cubic yards.

C. Conditional Use Permit Criteria

In accordance with Chapter 2.16.050 and 2.16.110 of the City of Bainbridge Island Municipal Code, the applicant must answer the following questions:

1. In what manner is the requested conditional use harmonious and compatible in design, character and appearance with the existing or intended character and quality of development in the vicinity of the subject property and with the physical characteristics of the subject property?

Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.

2. How has the proposed conditional use made adequate provision for the following facilities:

- a) roads; Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.
- b) water availability;
- c) fire protection;
- d) sewage disposal facilities, and
- e) storm drainage facilities.

3. Describe how the proposed conditional use will **not** be materially detrimental to uses or property in the vicinity of the subject property:

Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.

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4. Relate how the proposed conditional use will meet all the criteria otherwise applicable to the zone in which it is to be developed:

Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.

5. How is the conditional use in conformance with the Comprehensive Plan?

Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.

6. How does the conditional use comply with all of the other provisions of the city code?

Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.

7. Describe how the conditional use will not adversely affect the area or alter the area's predominantly residential nature?

Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.

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8. How is the subject property suitable for the proposed conditional use and will it be detrimental to surrounding land uses or sensitive areas? Consideration shall include items such as topography, streets and adjacent land uses:

Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.

9. Describe how all necessary measures have been taken to eliminate the impacts that issuance of the conditional use permit may have on the area in which it is to be located:

Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.

I hereby certify that I have read this application and know the same to be true and correct.

[Signature]
*Signature of owner or authorized agent

1/13/16
Date

L. Carpenter
Please Print

**If signatory is not the owner of record, the attached "Owner/Agent Agreement" must be signed and notarized.*

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SUBMITTAL DOCUMENTS

Application for conditional use permit may be made after the completion of a pre-application conference. Applications must be submitted by the owner or others authorized by the owner in person at the City of Bainbridge Island, Department of Planning and Community Development. A complete application shall include the items listed below (unless waived in writing by the Director or Project Manager).

- An application form provided by the City with the notarized signatures of all property owners or an owner/applicant agreement with the notarized signatures of all property owners.
- An application fee in the amount specified by the City.
- A complete and detailed written statement of the intended use of the land and the sequence and timing of the proposed development;
- A site plan in compliance with the requirements in "Drawing Content" section below;
- The terms, conditions, covenants, and agreements under which the subject property is bound, if any;
- An environmental checklist when required by the State Environmental Policy Act and BIMC 16.04;
- Land dedicated for park and recreational facilities, if applicable;
- Other plans and information deemed necessary by the director for evaluation of the merits of the proposal; and
- Institutional development in residential zones shall submit the following items:
 - A traffic report, showing the effects on level of service (LOS) on affected roads;
 - The appropriate approvals of sewer and water supply;
 - A fencing plan or alternative methods to protect the public health, safety and welfare;
 - Vehicular, pedestrian, and bicycle access and site circulation; and
 - A site and building design proposal that meets the design principles and guidelines found in BIMC 18.18.030.C, Commercial/Mixed Use design guidelines.
- For installation of outdoor lighting fixtures, evidence of compliance with the requirements of chapter 18.15.040, Outdoor Lighting, on a form provided by the department of planning and community development.

Drawing Format

Required Size: 18" x 24"

Minimum scale: 1" = 100'

Border: 1" minimum all sides

CITY OF BAINBRIDGE ISLAND

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Identification Information (to be included on each page of each drawing)

- ___ 1. Project title.
- ___ 2. Space for the Dept. of Planning and Community Development's application number.
- ___ 3. Name of property owner(s).
- ___ 4. Sheet title (road, drainage, grading, utility, temporary erosion and sedimentation control, site constraints, etc.)
- ___ 5. Revision block
- ___ 6. Quarter Section, Section, Township and Range in which property is located.
- ___ 7. Date drawings were prepared.
- ___ 8. Page numbers and total number of pages.
- ___ 9. Name, address, phone number, and E-mail address of professional who prepared the drawing.
- ___ 10. North arrow with north at top or left side of sheet
- ___ 11. Graphic scale.
- ___ 12. Elevation datum and benchmark

Drawing Content

- ___ 1. Vicinity map showing the proposed project site, easements and major city streets. Map shall, at a minimum, show adjacent streets and lots in sufficient manner to reasonably locate the site.
- ___ 2. Location, name, width, and ownerships of all existing and proposed boundaries, streets, roads, rights-of-way, or easements on or adjacent to the subject property.
- ___ 3. Circulation plans on and off the site, including pedestrian, bicycle and transit access, delineated parking spaces, location of locking bicycle space, etc.
- ___ 4. Location of all existing structures and improvements on or adjacent to the subject property.
- ___ 5. Location of proposed improvements.
- ___ 6. Utilities plans.
- ___ 7. Location of all existing vegetation, including all trees over six inches in diameter, on the subject property.
- ___ 8. Landscaping plan. (See BIMC 18.15.010 for details.)
- ___ 9. Contours at a maximum interval of five (5) feet.
- ___ 10. Location of all existing watercourses, slopes, wetlands, required buffers, critical areas regulated under BIMC 16.20, and other natural features on the subject property.
- ___ 11. Any other plans deemed necessary for evaluation.

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Additional requirements for educational, cultural, governmental, religious or health care facilities in residential zones. BIMC 2.16.110.E requires educational, cultural, governmental, religious or health care facilities in residential zones to be processed as major (as opposed to minor) conditional use permit applications. When an application is made for one of these facilities, the following material must be included as part of the submittal:

- A traffic report showing the effects of the proposed project on level of service (LOS) on affected roads and including proposed mitigation measures for degradation of the LOS.
- Evidence that the proposed project will front on a road classified as Residential Suburban or above on the Bainbridge Island Functional Road Classification Map.
- Evidence that noise levels shall be in compliance with 16.16.020 and 16.16.040.A.
- Approved water and sewer service agreements.
- A fencing plan or alternative methods to protect the public health, safety, and welfare must be submitted at the time of application.
- Evidence that the proposal will be limited to no more than fifty percent (50%) of the allowable lot coverage in the zone in which it is to be located.
- A site plan showing perimeter buffers, if the proposal is to be sited in a residential district outside Winslow.

Aerial Image – Project Site



ATTACHMENT D

I. PROJECT SUMMARY

Applicant: Bainbridge Island Fire Department
8895 Madison Avenue N
Bainbridge Island, WA 98110

Owner: Bainbridge Island Fire Department
8895 Madison Avenue N
Bainbridge Island, WA 98110

Site Address: 8895 Madison Avenue N
Bainbridge Island, WA 98110

Assessor Site Acreage: 3.91 acres

Zoning: 2 Units per Acre Zone (20,000 square feet; R-2)

Comprehensive Plan: 2 Units per Acre Zone (20,000 square feet; OSR-2)

Adjacent Zoning: R-2 to the north and east and Business/Industrial District (B/I) to the south and west

Existing Structures: Fire station, living quarters, generator building, circulation and parking areas, helicopter landing pad, and other site improvements

Request: Site Plan and Design Review Approval

Project Contact: Mackenzie, Applicant's Representative
Michael Chen, Senior Planner
Logan Building
500 Union Street, Suite 545
Seattle, WA 98101
(206) 749-9993, Extension 513
MChen@mcknze.com

ATTACHMENT E

II. INTRODUCTION

Description of Request

The applicant, Bainbridge Island Fire Department (BIFD), seeks approval of site plan and design review for the proposed redevelopment of the existing fire station, Station 21, at 8895 Madison Avenue N in Bainbridge Island, Washington.

As articulated in the City of Bainbridge Island Comprehensive Plan, one of the City's primary goals is to "[p]rovide adequate public facilities [...] which maximize public safety and minimize adverse environmental impacts." In a Strategic Plan Update, the BIFD identified critical needs at Station 21 and recommended a formal needs assessment, which the applicant's representative, Mackenzie, was involved in producing. The proposed redevelopment of Station 21 will ensure not only that the buildings meet the BIFD's operational needs, but also that the redeveloped fire station will serve the needs of the Bainbridge Island community for decades to come.

Community members will be involved in the redevelopment of the fire station through participation in the community meeting to be held in the initial stages of the review process. The applicant supports this initiative to develop a meaningful process for citizen participation and looks forward to engaging the community's vision for Station 21.

Existing Site & Surrounding Land Use

The subject site is located northwest of Madison Avenue N, southwest of Highway 305, and north of NE New Brooklyn Road in Bainbridge Island. The site comprises two tax lots, 4169-000-050-0206 and 222502-1-023-2000.

There are approximately four existing buildings on the site, including a fire station, living quarters, a generator building, and an accessory building; there are a memorial, a helicopter landing pad, a fence, and vehicle circulation areas on the site, as well.

The site and the tax lots to the north and east are zoned 2 Units per Acre Zone (20,000 square feet; R-2), and the tax lots to the south and west are zoned Business/Industrial District (B/I). The site comprises approximately 3.91 acres. The site is currently in use by the BIFD as the existing Station 21.

Existing land use decisions on the site include the following:

- Kitsap County Conditional Use Permit 936A (4/26/1977)
- Zoning Variance VAR10-05-93-1
- Conditional Use Permit CUP05-14-99-1
- Conditional Use Permit CUP11791 (11/21/2002)

Description of Proposed Development

The land is proposed for redevelopment under the same use as a fire station. Pending the required approvals, construction is expected to start in the fall of 2016 and to be complete in 2018. The subject property is and will continue to be owned by the BIFD. No permanent dwelling units or commercial buildings will be provided within the development either during or after construction.

III. NARRATIVE & COMPLIANCE

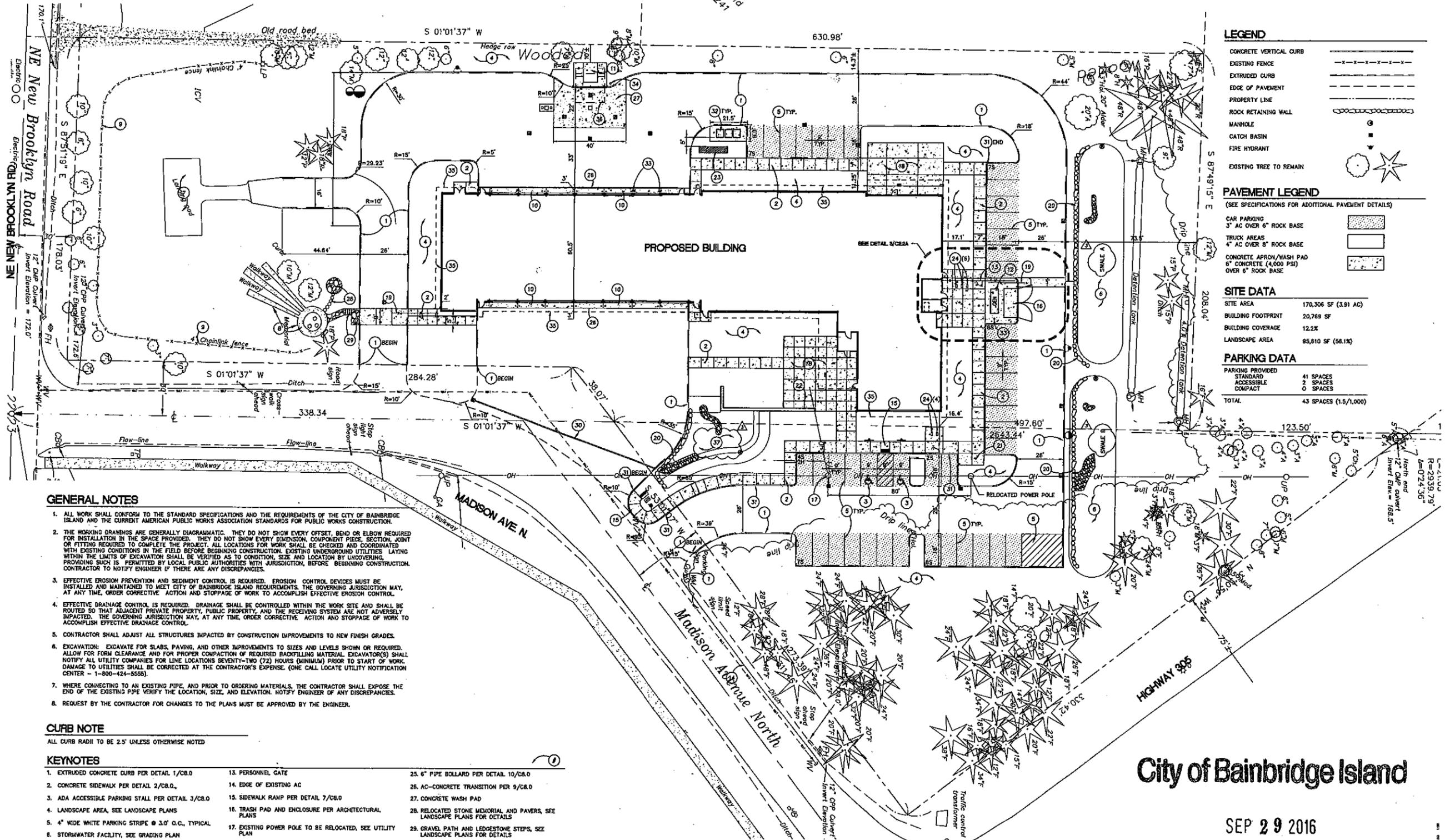
The land is proposed for redevelopment under the same use as a fire station. The site is currently served by Madison Avenue N to the east. The existing size of Madison Avenue N meets the required right-of-way width of 60 feet. No public street improvements or road construction are proposed for this development. The existing driveway will be redeveloped as two separate driveways, both approximately 26 feet wide, one at the southern end of the existing driveway and one at the northern end of the existing driveway. Landscape area will separate the two newly created driveways from the emergency access area to be used by the fire apparatus and passenger vehicles.

The site is currently served by public water utility infrastructure provided by the City of Bainbridge Island that is available and adequate to meet the needs of the proposed development; therefore, no new water system extensions are proposed. The site is also currently served by public sewer utility infrastructure provided by the City of Bainbridge Island that is available and adequate to meet the needs of the proposed development; therefore, no new sewer system extensions are proposed.

Internal sidewalks ranging in width from five to seven feet are proposed with the development. These sidewalks will be constructed with the redevelopment of the existing fire station and with the associated site improvements. No off-site improvements are proposed. Pending the required approvals, construction is expected to start in the fall of 2016 and to be complete in 2018.

IV. CONCLUSION

The applicant submits this narrative and the attached Exhibits in seeking approval of site plan and design review for the proposed redevelopment of the existing fire station located at 8895 Madison Avenue N. This application demonstrates that the proposal is in compliance with the relevant standards provided by the City of Bainbridge Island.



LEGEND

CONCRETE VERTICAL CURB	
EXISTING FENCE	
EXTRUDED CURB	
EDGE OF PAVEMENT	
PROPERTY LINE	
ROCK RETAINING WALL	
MANHOLE	
CATCH BASIN	
FIRE HYDRANT	
EXISTING TREE TO REMAIN	

PAVEMENT LEGEND
(SEE SPECIFICATIONS FOR ADDITIONAL PAVEMENT DETAILS)

CAR PARKING 3" AC OVER 6" ROCK BASE	
TRUCK AREAS 4" AC OVER 8" ROCK BASE	
CONCRETE APRON/WASH PAD 8" CONCRETE (4,000 PSI) OVER 6" ROCK BASE	

SITE DATA

SITE AREA	170,306 SF (3.91 AC)
BUILDING FOOTPRINT	20,769 SF
BUILDING COVERAGE	12.2%
LANDSCAPE AREA	95,810 SF (58.1%)

PARKING DATA

PARKING PROVIDED	41 SPACES
STANDARD	41 SPACES
ACCESSIBLE	0 SPACES
COMPACT	0 SPACES
TOTAL	43 SPACES (1.5/1,000)

GENERAL NOTES

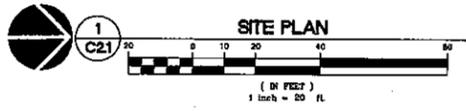
- ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND THE REQUIREMENTS OF THE CITY OF BAINBRIDGE ISLAND AND THE CURRENT AMERICAN PUBLIC WORKS ASSOCIATION STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED TO MEET CITY OF BAINBRIDGE ISLAND REQUIREMENTS. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE ROUTED SO THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL.
- CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISH GRADES.
- EXCAVATION: EXCAVATE FOR SLABS, PAVING, AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. EXCAVATOR(S) SHALL NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS SEVENTY-TWO (72) HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. (ONE CALL LOCATE UTILITY NOTIFICATION CENTER - 1-800-424-5555).
- WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR TO ORDERING MATERIALS, THE CONTRACTOR SHALL EXPOSE THE END OF THE EXISTING PIPE TO VERIFY THE LOCATION, SIZE, AND ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- REQUEST BY THE CONTRACTOR FOR CHANGES TO THE PLANS MUST BE APPROVED BY THE ENGINEER.

CURB NOTE

ALL CURB RADII TO BE 2.5' UNLESS OTHERWISE NOTED

KEYNOTES

- | | | |
|---|---|--|
| 1. EXTRUDED CONCRETE CURB PER DETAIL 1/CB.0 | 13. PERSONNEL GATE | 25. 6" PIPE BOLLARD PER DETAIL 10/CB.0 |
| 2. CONCRETE SIDEWALK PER DETAIL 2/CB.0. | 14. EDGE OF EXISTING AC | 26. AC-CONCRETE TRANSITION PER 9/CB.0 |
| 3. ADA ACCESSIBLE PARKING STALL PER DETAIL 3/CB.0 | 15. SIDEWALK RAMP PER DETAIL 7/CB.0 | 27. CONCRETE WASH PAD |
| 4. LANDSCAPE AREA, SEE LANDSCAPE PLANS | 16. TRASH PAD AND ENCLOSURE PER ARCHITECTURAL PLANS | 28. RELOCATED STONE MEMORIAL AND PAVERS, SEE LANDSCAPE PLANS FOR DETAILS |
| 5. 4" WIDE WHITE PARKING STRIPE @ 3.0' O.C., TYPICAL | 17. EXISTING POWER POLE TO BE RELOCATED, SEE UTILITY PLAN | 29. GRANUL PATH AND LEDGESTONE STEPS, SEE LANDSCAPE PLANS FOR DETAILS |
| 6. STORMWATER FACILITY, SEE GRADING PLAN | 18. PLAZA AREA, SEE GRADING PLAN FOR DETAILS | 30. TRENCH DRAIN - SEE UTILITY PLAN |
| 7. EXISTING HELICOPTER PAD TO REMAIN | 19. MOTORIZED ROLLING CHAIN-LINK GATE | 31. STANDARD CURB PER DETAIL 11/CB.0 |
| 8. EXISTING MEMORIAL TO REMAIN, SEE LANDSCAPE PLANS FOR DETAILS | 20. ROCK WALL, SEE GRADING PLAN | 32. MECHANICAL VRF UNITS, SEE MECHANICAL PLANS |
| 9. EXISTING FENCE TO REMAIN | 21. TRANSFORMER PAD - 6" OF 3,500 PSI CONCRETE OVER 8" CRUSHED ROCK BASE WITH #4 @ 24" O.C. | 33. POST WITH ELECTRICAL OUTLET - SEE ELECTRICAL PLANS, PROVIDE BOLLARD PROTECTION |
| 10. CONCRETE APRON, SEE PAVING LEGEND | 22. FLAG POLE WITH NEW CONCRETE FOOTING PER MANUFACTURER RECOMMENDATIONS | 34. POST HYDRANT PER DETAIL 7/CB.2 |
| 11. CONCRETE FUELING PAD WITH RELOCATED FUELING STATION PER DETAIL 2/CB.2 | 23. PROPANE TANK | 35. BUILDING ROOF LINE ABOVE |
| 12. EMERGENCY GENERATOR PAD - 6" OF 3,500 PSI CONCRETE OVER 8" CRUSHED ROCK BASE WITH #4 @ 24" O.C. | 24. BIKE RACKS | 36. RELOCATED CANOPY |
| | | 37. EAST POND - LANDSCAPE FEATURE |



City of Bainbridge Island

SEP 29 2016
Planning and
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ATTACHMENT G

MECHANICAL/ELECTRICAL
INTERFACE ENGINEERING
708 SW 3RD, SUITE 400
PORTLAND, OR 97204

LANDSCAPE
FISCHER BOUMA PARTNERSHIP
310 MADISON AVENUE
SOUTH SUITE A
BAINBRIDGE ISLAND, WA
98110



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Project
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8895 MADISON AVE. NE



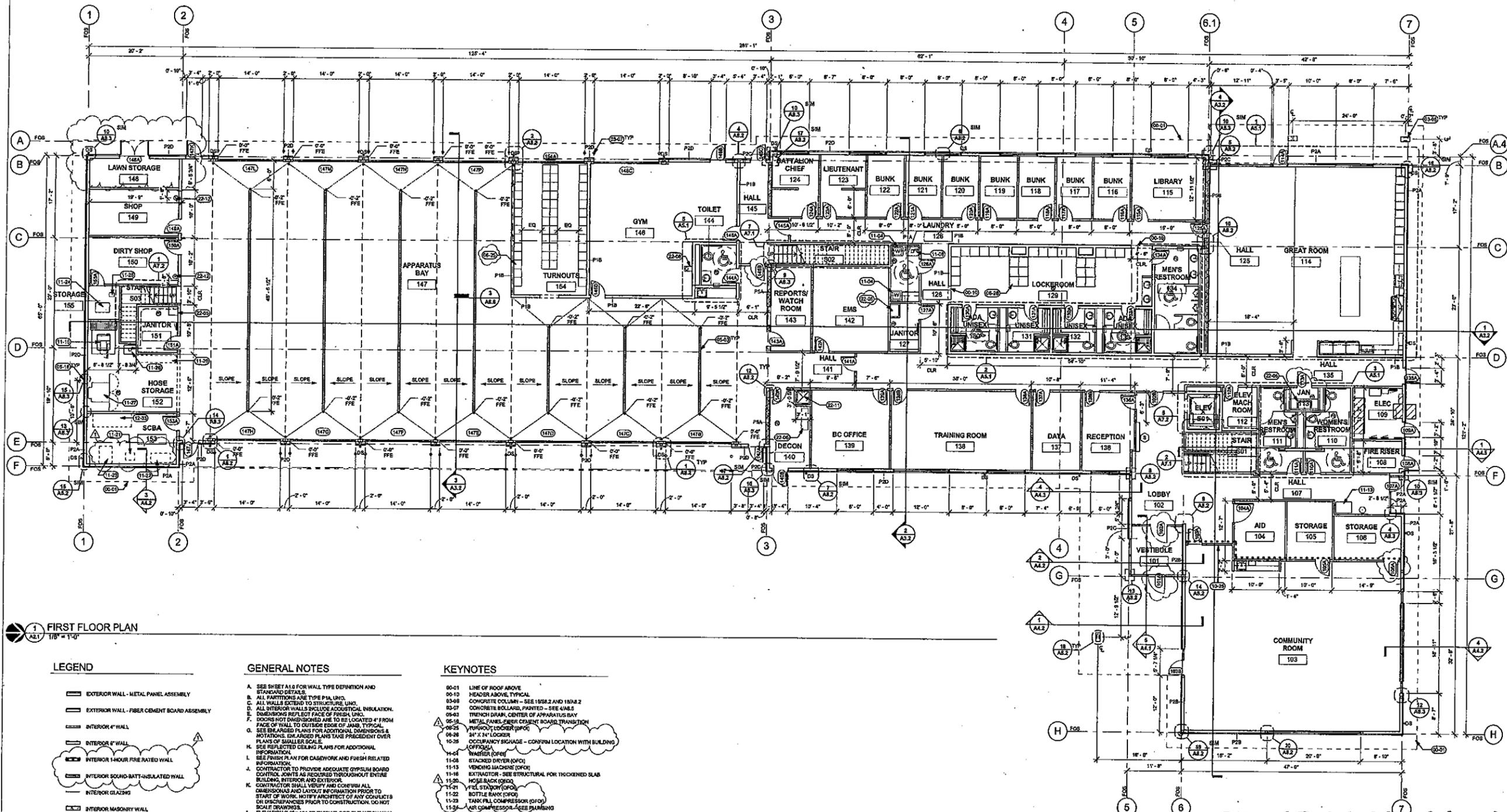
REVISIONS:

NO.	DESCRIPTION	DATE
1	X	8/12/2016
2	X	9/19/2016
3	X	IN PROGRESS

DATE: 9/16/16
DRAWN BY: BTS
CHECKED BY: TWB

SHEET TITLE:
SITE PLAN

SHEET	C2.1	SHEET	
REVISED 08/12/16		JOB NO.	2150124.00
PERMIT SET 06/30/16			



FIRST FLOOR PLAN
1/8" = 1'-0"

LEGEND

- EXTERIOR WALL - METAL PANEL ASSEMBLY
- EXTERIOR WALL - FIBER CEMENT BOARD ASSEMBLY
- INTERIOR 4' WALL
- INTERIOR 6' WALL
- INTERIOR 1-HOUR FIRE RATED WALL
- INTERIOR SOUND-BATT-INSULATED WALL
- INTERIOR GLAZING
- INTERIOR MASONRY WALL
- GRIDLINES
- KEYNOTES
- FACE OF STUD
- NON-OCCUPIABLE SPACE (ceiling height less than 7'-0")

GENERAL NOTES

- A. SEE SHEET A1.0 FOR WALL TYPE DEFINITION AND STANDARD DETAILS.
- B. ALL PARTITIONS ARE TYPE P1A, UNO.
- C. ALL WALLS EXTEND TO STRUCTURE UNO.
- D. ALL INTERIOR WALLS INCLUDE ACOUSTICAL INSULATION.
- E. DIMENSIONS REFLECT FACE OF FINISH UNO.
- F. DOORS NOT DIMENSIONED ARE TO BE LOCATED 4" FROM FACE OF WALL TO OUTSIDE EDGE OF JAMB, TYPICAL.
- G. SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS & NOTATIONS. ENLARGED PLANS TAKE PRECEDENCE OVER PLANS OF SMALLER SCALE.
- H. SEE REFLECTED CEILING PLANS FOR ADDITIONAL INFORMATION.
- I. SEE FINISH PLAN FOR CASWORK AND FINISH RELATED INFORMATION.
- J. CONTRACTOR TO PROVIDE ADEQUATE GYPSUM BOARD CONTROL JOINTS AS REQUIRED THROUGHOUT ENTIRE BUILDING, INTERIOR AND EXTERIOR.
- K. CONTRACTOR SHALL VERIFY AND CONFIRM ALL DIMENSIONS AND LAYOUT INFORMATION PRIOR TO START OF WORK. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
- L. ELEVATION OF 4" = 1/8" FINISH FLOOR ELEVATION MARK FLOOR INDICATED IN CIVIL DRAWINGS.

KEYNOTES

- 00-01 LINE OF ROOF ABOVE
- 00-10 HEADER ABOVE, TYPICAL
- 03-08 CONCRETE COLUMN - SEE 1805.2 AND 1806.2
- 03-07 CONCRETE BOLLARD, PAINTED - SEE 406.6
- 05-03 TRENCH DRAIN, CENTER OF APPARATUS BAY
- 05-18 METAL PANEL FIBER CEMENT BOARD TRANSITION (CONCRETE) LOCKER (OFO)
- 06-28 24" X 4" LOCKER
- 10-25 OCCUPANCY SIGNAGE - CONFIRM LOCATION WITH BUILDING
- 11-04 WASHER (OFO)
- 11-08 STACKED DRYER (OFO)
- 11-13 VENDING MACHINE (OFO)
- 11-18 EXTRACTOR - SEE STRUCTURAL FOR THICKENED SLAB
- 11-20 HOSE RACK (OFO)
- 11-21 VPEL STATION (OFO)
- 11-22 BOTTLE BANK (OFO)
- 11-23 TANK FILL COMPRESSOR (OFO)
- 11-24 AIR COMPRESSOR (SEE DIMENSIONING)
- 11-25 AIR DRYER - SEE PLUMBING
- 11-28 DRYER (OFO)
- 11-27 HOSE DRYER CABINET (OFO)
- 12-03 WORKBENCH (OFO)
- 22-16 MOP SINK
- 22-06 UTILITY SINK
- 22-08 DRINKING FOUNTAIN
- 22-11 DECON SHOWER
- 22-12 EMERGENCY EYE WASH

City of Bainbridge Island

OCT 17, 2016
**Planning and
Community Development**

ATTACHMENT H

MECHANICAL/ELECTRICAL
INTERFACE ENGINEERING
708 SW 3RD, SUITE 400
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LANDSCAPE
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310 MADISON AVENUE
SOUTH, SUITE A
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**BAINBRIDGE ISLAND FIRE DEPT
STATION 21**
8995 MADISON AVE. NE



Revision Schedule	
Revision Delta	Issue Date
1	8/12/2016

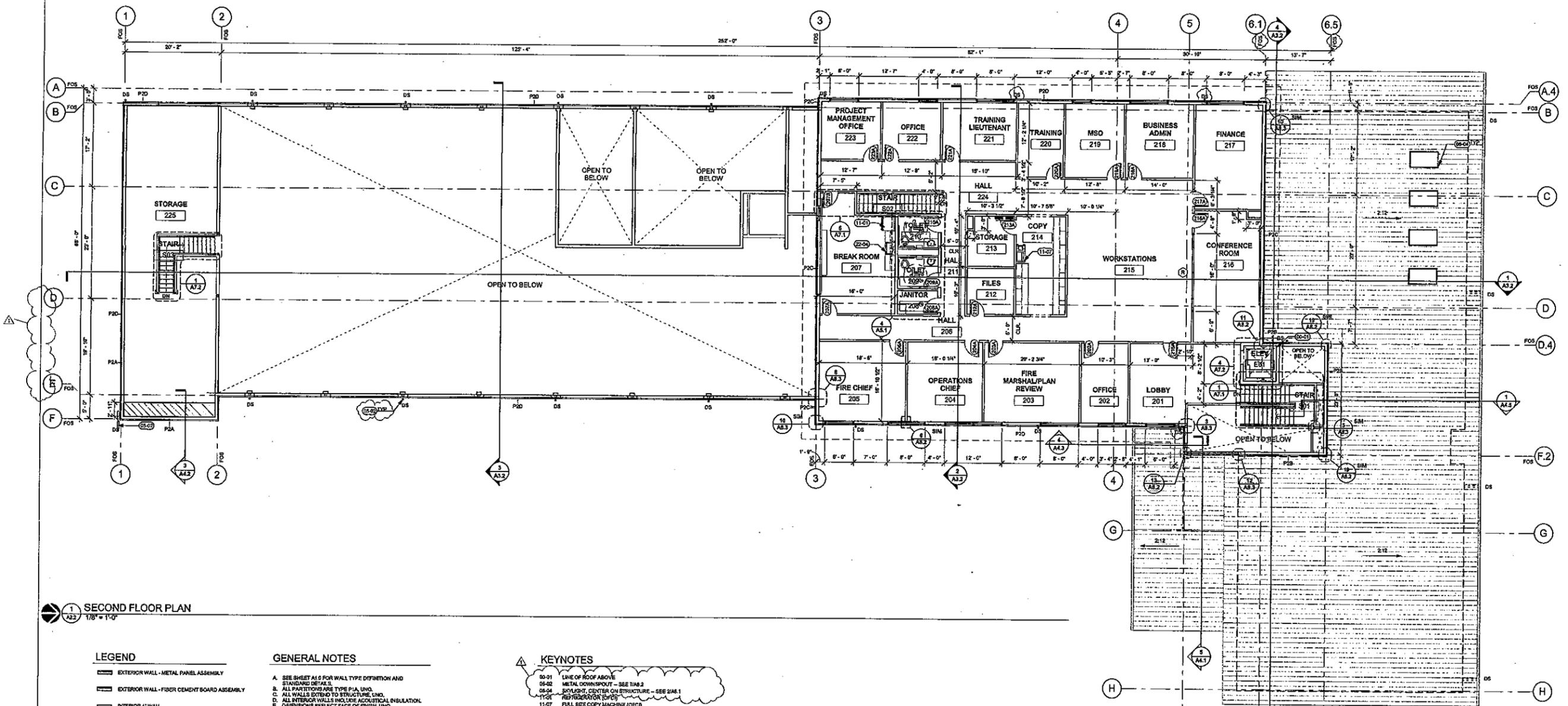
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CHECKED BY: BLH

SHEET TITLE:
FIRST FLOOR PLAN

SHEET
A2.1

REVISED 08/12/16 JOB NO. 2150124.00

PERMIT SET 06/30/16



1 SECOND FLOOR PLAN
1/8" = 1'-0"

LEGEND

- EXTERIOR WALL - METAL PANEL ASSEMBLY
- EXTERIOR WALL - FIBER CEMENT BOARD ASSEMBLY
- INTERIOR 4' WALL
- INTERIOR 6' WALL
- INTERIOR 1-HOUR FIRE RATED WALL
- INTERIOR SOUND-BATT INSULATED WALL
- INTERIOR GLAZING
- INTERIOR MASONRY WALL
- GRIDLINES
- KEYNOTES
- FACE OF STUD
- NON-OCCUPIABLE SPACE (head height less than 7'-0")

GENERAL NOTES

- A. SEE SHEET A1.0 FOR WALL TYPE DEFINITION AND STANDARD DETAILS.
- B. ALL PARTITIONS ARE TYPE P1A, UNO.
- C. ALL WALLS EXTEND TO STRUCTURE, UNO.
- D. ALL INTERIOR WALLS INCLUDE ACoustICAL INSULATION.
- E. DIMENSIONS REFLECT FACE OF FINISH, UNO.
- F. DOORS NOT DIMENSIONED ARE TO BE LOCATED 4" FROM FACE OF WALL TO OUTSIDE EDGE OF JAMB, TYPICAL.
- G. SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS & NOTATIONS. ENLARGED PLANS TAKE PRECEDENCE OVER PLANS OF SMALLER SCALE.
- H. SEE REFLECTED CEILING PLANS FOR ADDITIONAL INFORMATION.
- I. SEE FINISH PLAN FOR CASEWORK AND FINISH RELATED INFORMATION.
- J. CONTRACTOR TO PROVIDE ADEQUATE GYPSUM BOARD CONTROL JOISTS AS REQUIRED THROUGHOUT ENTIRE BUILDING, INTERIOR AND EXTERIOR.
- K. CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND LAYOUT INFORMATION PRIOR TO START OF WORK. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
- L. ELEVATION 8'-0" = 81.50' FINISH FLOOR ELEVATION MAIN FLOOR INDICATED BY CIVIL DRAWINGS.

KEYNOTES

- 00-01 LINE OF ROOF ABOVE
- 05-02 METAL DOWNSPOUT - SEE TAB 2
- 06-04 SPOULDER CENTER ON STRUCTURE - SEE S24.1
- 11-01 REFRIGERATOR (207)
- 11-07 FULL SIZE COPY MACHINE (207)
- 22-04 KITCHEN SINGLE SINK (REFER TO PLUMBING)

City of Bainbridge Island

OCT 17 2016
Planning and
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ATTACHMENT I

MECHANICAL/ELECTRICAL
INTERFACE ENGINEERING
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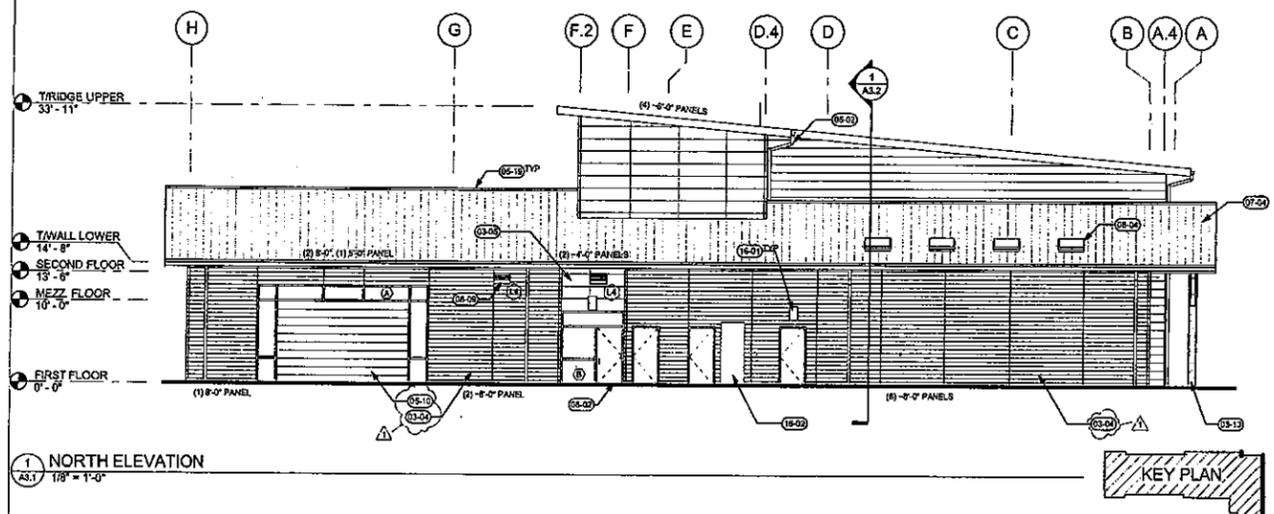
Revision Schedule	
Revision Date	Issue Date
1	8/17/2016

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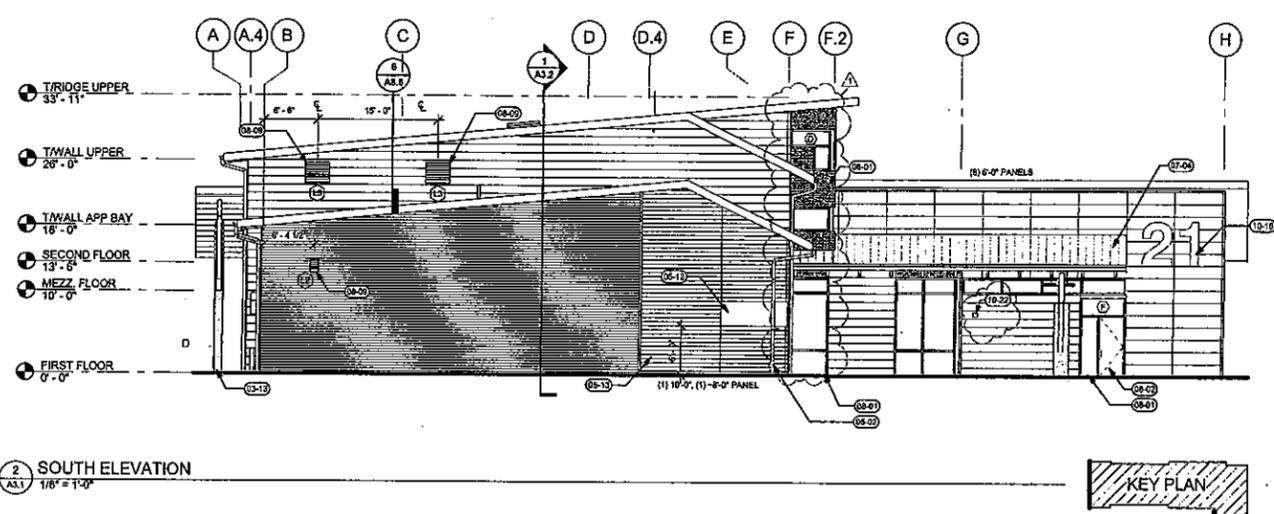
SHEET TITLE:
SECOND FLOOR PLAN

SHEET
A2.2

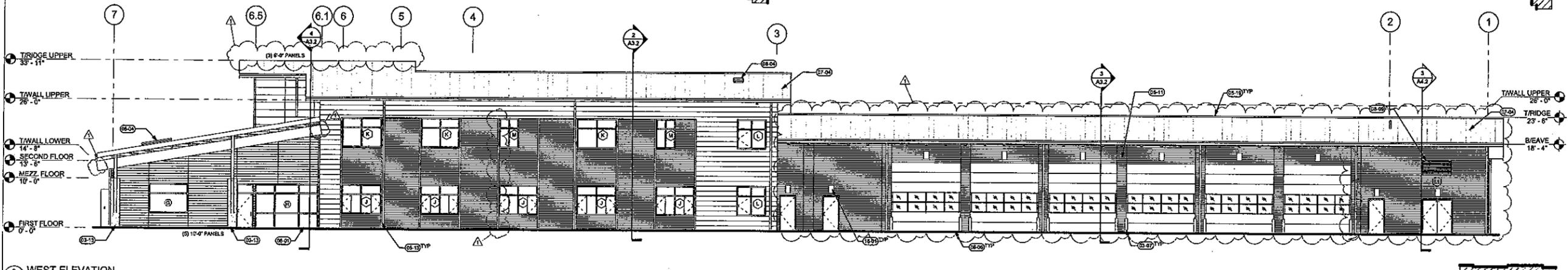
REVISED 08/12/16 JOB NO. 2150124.00
PERMIT SET 06/30/16



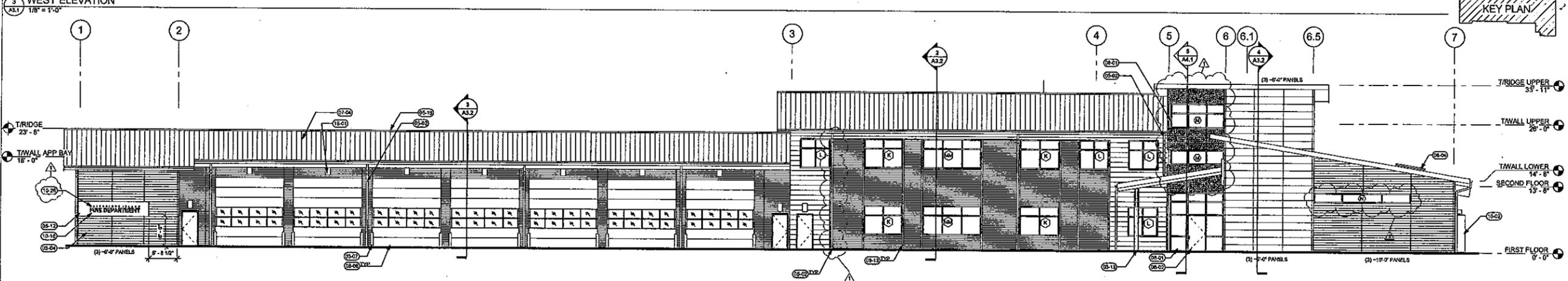
1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"

GENERAL NOTES

A. SEE ELEVATIONS FOR EXTERIOR WINDOW TYPE DESIGNATION
 B. ELEVATION 0'-0" = 181.87 FINISH FLOOR ELEVATION INDICATED IN CIVIL DRAWINGS. FINISH GRADE VARIES AT BUILDING PERIMETER CONDITIONS. REFERENCE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND LAYOUT INFORMATION. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
 C. REFER TO ENLARGED ELEVATIONS WHERE INDICATED.
 D. SEE ARCHITECTURAL SCHEDULE FOR WINDOW TYPE DESIGNATION.
 E. SEE EXTERIOR ELEVATIONS FOR LOWER TYPE DESIGNATION.

- KEYNOTES**
- 03-04 EXTERIOR FIBER CEMENT BOARD ASSEMBLY FCB-1 - SEE P20A1.0
 - 03-05 EXTERIOR FIBER CEMENT BOARD ASSEMBLY FCB-2 - SEE P20A1.0
 - 03-06 CONCRETE BOLLARD, PAINTED - SEE 03A.8
 - 03-07 CONCRETE BOLLARD, PAINTED - SEE 03A.8
 - 03-13 CONCRETE COLUMN AT OVERHANG - SEE DETAIL 18A.8.2
 - 05-02 METAL DOWNSPOUT - SEE TAB.2
 - 05-10 EXTERIOR METAL PANEL ASSEMBLY MP-1 - SEE P20A1.0
 - 05-11 EXTERIOR METAL PANEL ASSEMBLY MP-2 - SEE P20A1.0
 - 05-12 EXTERIOR METAL PANEL ASSEMBLY MP-3 - SEE P20A1.0
 - 05-13 BRASS METAL
 - 05-19 RIDGE CAP, SEE DETAIL 19A.1
 - 07-04 METAL ROOF ASSEMBLY - SEE 19A.1
 - 09-01 ALUMINUM-FRAMED STOREFRONT SYSTEM - SEE WINDOW SCHEDULE
 - 09-02 EXTERIOR STOREFRONT DOORS
 - 09-04 SKYLIGHT, CENTER ON STRUCTURE - SEE 21A.1
 - 09-08 OVERHEAD SECTIONAL DOOR - SEE DOOR SCHEDULE
 - 09-09 HVAC VENT - SEE MECHANICAL
 - 10-10 EXTERIOR SIGNAGE - SEE TAB.8
 - 10-22 EMERGENCY ACCESS KNOCK BOX, VERIFY MOUNTING HEIGHT W/ OWNER PRIOR TO INSTALLATION RECESS AND FLASH AS PREPARED, SEE WINDOW SCHEDULE
 - 10-23 EXTERIOR DEPARTMENT SIGNAGE - SEE TAB.8
 - 10-24 LIGHT FIXTURE - SEE ELECTRICAL
 - 10-25 CT CABINET - SEE ELECTRICAL

- LEGEND**
- [Pattern] EXTERIOR METAL PANEL ASSEMBLY, MP-1
 - [Pattern] EXTERIOR METAL PANEL ASSEMBLY, MP-2
 - [Pattern] EXTERIOR METAL PANEL ASSEMBLY, MP-3
 - [Pattern] EXTERIOR FIBER CEMENT BOARD, FCB-1
 - [Pattern] EXTERIOR FIBER CEMENT BOARD, FCB-2
 - [Pattern] CONCRETE

City of Bainbridge Island

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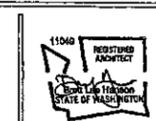
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Revision Schedule

Revision	Date	Issue Date
1		8/12/2016

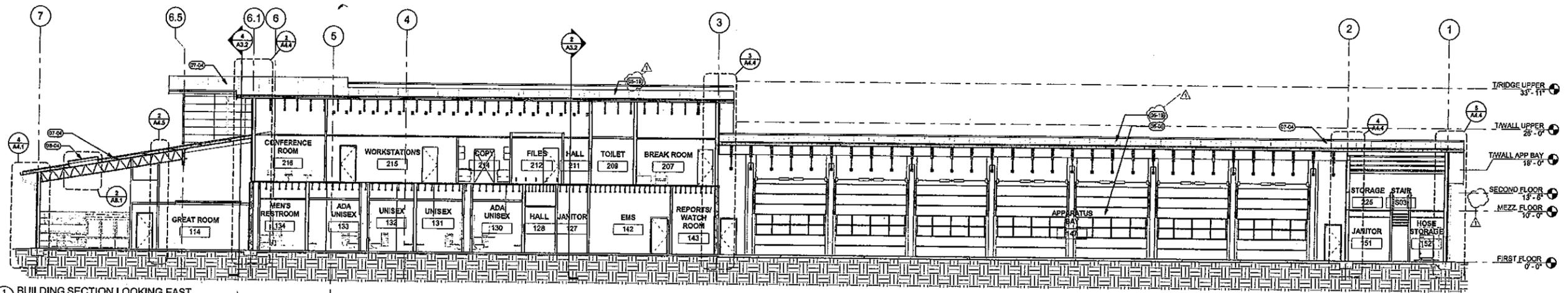
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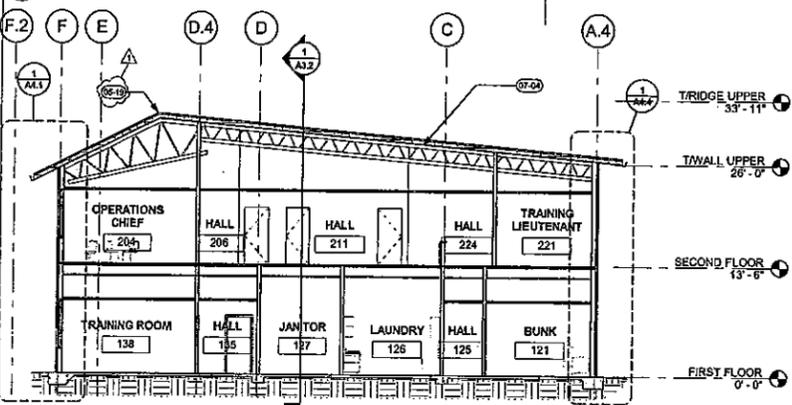
SHEET TITLE:
BUILDING ELEVATIONS

SHEET
A3.1

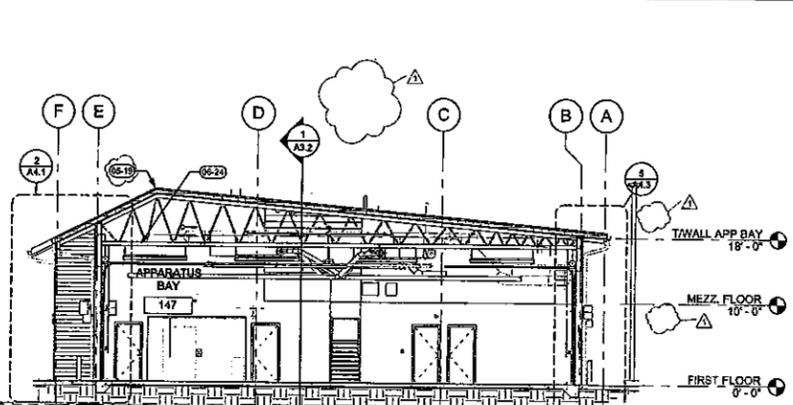
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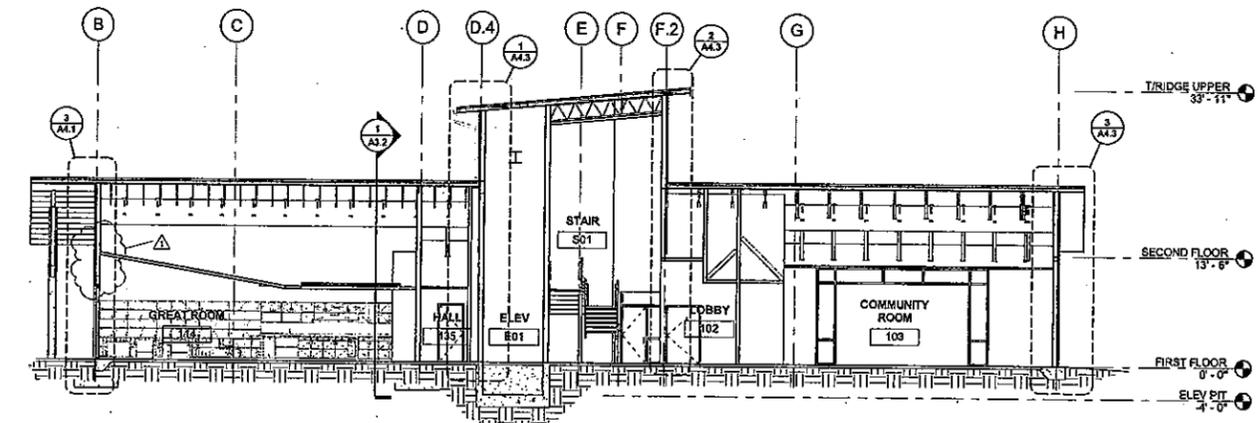
1 BUILDING SECTION LOOKING EAST
1/8" = 1'-0"



2 WALL SECTION
1/8" = 1'-0"



3 BUILDING SECTION LOOKING SOUTH
1/8" = 1'-0"



4 BUILDING SECTION LOOKING NORTH
1/8" = 1'-0"

LEGEND

- EXTERIOR METAL PANEL ASSEMBLY, MP-1
- EXTERIOR METAL PANEL ASSEMBLY, MP-2
- BOARD FORMED CONCRETE
- EXTERIOR FIBER CEMENT BOARD, FCB-1
- EXTERIOR FIBER CEMENT BOARD, FCB-2

- WINDOW TYPE, SEE A3.2
- INTERIOR WINDOW TYPE, SEE A3.2

GENERAL NOTES

- A. FRESH FLOOR ELEVATION (FF) MAIN FLOOR 0'-0" EQUALS FF ELEVATION AS INDICATED ON CIVIL PLANS
- B. ALL GLAZING SYSTEMS ARE ALUMINUM CASHEMENT UNLESS NOTED OTHERWISE
- C. ALL WALLS EXTEND TO STRUCTURE UNO
- D. SEE A3.2 FOR GLAZING SCHEDULE
- E. SEE A4.1 FOR TYPICAL SEALANT JOINT

KEYNOTES

- 03-07 CONCRETE BOLLARD, PAINTED - SEE #18.6
- 06-19 RIDGE CAP, SEE DETAIL 15A.1
- 08-24 APP BAY TRUSS - SEE STRUCTURAL UNLESS NOTED OTHERWISE
- 07-04 METAL ROOF ASSEMBLY - SEE 11A.1
- 08-04 SKYLIGHT, CENTER ON STRUCTURE - SEE 21A.1
- 08-06 OVERHEAD SECTIONAL DOOR - SEE DOOR SCHEDULE

City of Bainbridge Island

OCT 17 2016

Planning and
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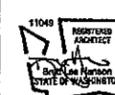
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BAINBRIDGE, WA 98110

Project

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STATION 21**
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Revision Schedule	
Revision Date	Issue Date
1	08/22/2016

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SHEET TITLE
BUILDING SECTIONS

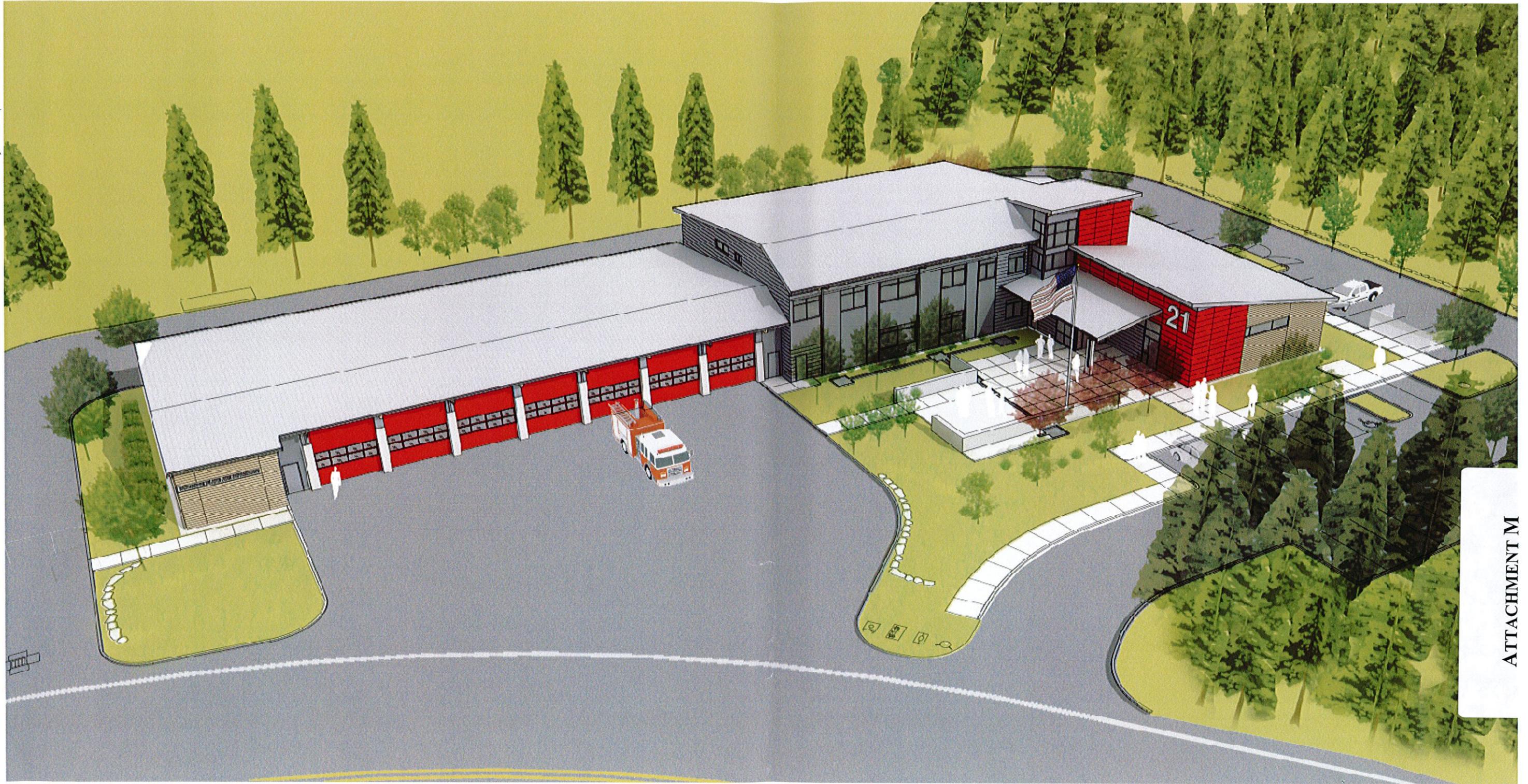
A3.2

REVISED 08/12/16 JOB NO. 2150124.00

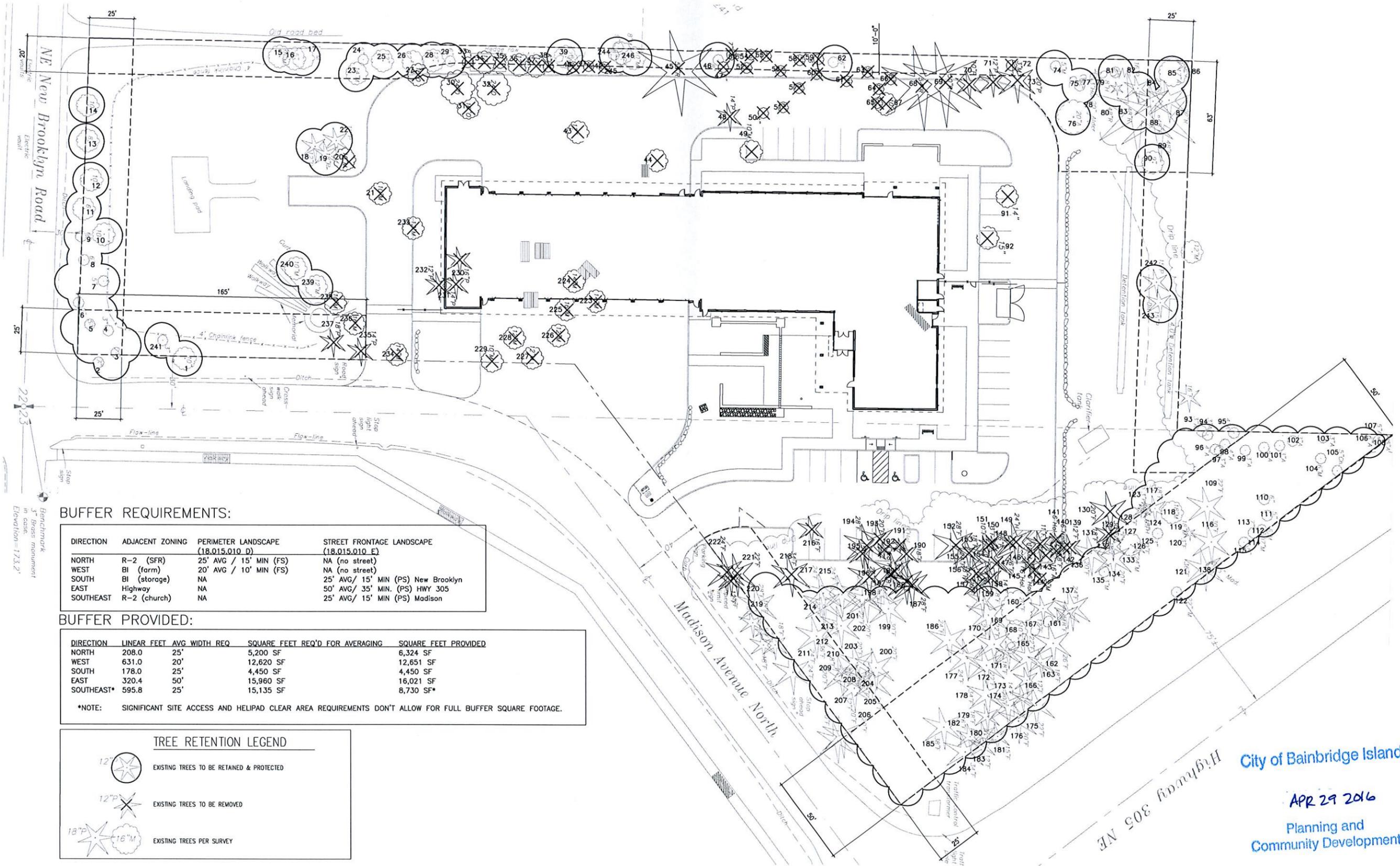
PERMIT SET 08/30/16



ATTACHMENT L



ATTACHMENT M



ATTACHMENT N

BUFFER REQUIREMENTS:

DIRECTION	ADJACENT ZONING	PERIMETER LANDSCAPE (18.015.010 D)	STREET FRONTAGE LANDSCAPE (18.015.010 E)
NORTH	R-2 (SFR)	25' AVG / 15' MIN (FS)	NA (no street)
WEST	BI (farm)	20' AVG / 10' MIN (FS)	NA (no street)
SOUTH	BI (storage)	NA	25' AVG/ 15' MIN (PS) New Brooklyn
EAST	Highway	NA	50' AVG/ 35' MIN. (PS) HWY 305
SOUTHEAST	R-2 (church)	NA	25' AVG/ 15' MIN (PS) Madison

BUFFER PROVIDED:

DIRECTION	LINEAR FEET	AVG WIDTH REQ	SQUARE FEET REQ'D FOR AVERAGING	SQUARE FEET PROVIDED
NORTH	208.0	25'	5,200 SF	6,324 SF
WEST	631.0	20'	12,620 SF	12,651 SF
SOUTH	178.0	25'	4,450 SF	4,450 SF
EAST	320.4	50'	15,960 SF	16,021 SF
SOUTHEAST*	595.8	25'	15,135 SF	8,730 SF*

*NOTE: SIGNIFICANT SITE ACCESS AND HELIPAD CLEAR AREA REQUIREMENTS DON'T ALLOW FOR FULL BUFFER SQUARE FOOTAGE.

TREE RETENTION LEGEND

-  EXISTING TREES TO BE RETAINED & PROTECTED
-  EXISTING TREES TO BE REMOVED
-  EXISTING TREES PER SURVEY

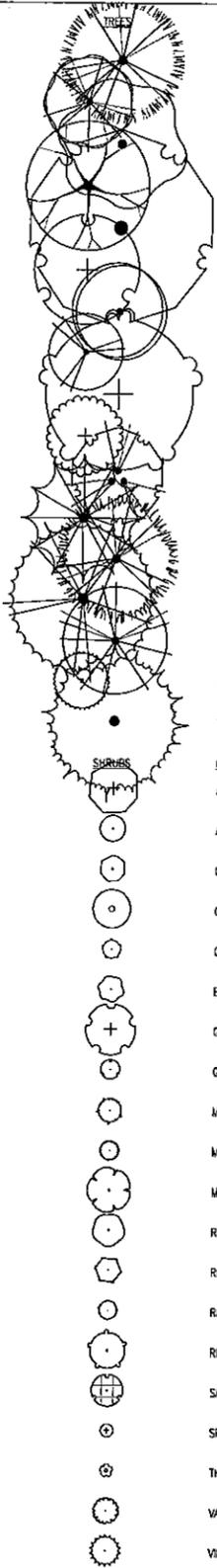
City of Bainbridge Island
 APR 29 2016
 Planning and
 Community Development

TREE RETENTION PLAN
 1"=20'-0"



MECHANICAL/ELECTRICAL INTERFACE ENGINEERING 708 SW 3RD, SUITE 400 PORTLAND, OR 97204	LANDSCAPE FISCHER BOUMA PARTNERSHIP 310 MADISON AVENUE SOUTH, SUITE A BAINBRIDGE ISLAND, WA 98110	 MACKENZIE DESIGN DRIVEN CLIENT FOCUSED	Architecture • Interiors • Planning • Engineering Client BAINBRIDGE ISLAND FIRE DEPARTMENT 8895 MADISON AVE. NE BAINBRIDGE ISLAND, WA 98110	Project BAINBRIDGE ISLAND FIRE DEPT STATION 21 8895 MADISON AVE. NE	 JEFFREY E. BOUMA CERTIFICATE NO. 847	REVISIONS: REVISION NUMBER REVISION DATE REVISION DESCRIPTION	© MACKENZIE 2016. ALL RIGHTS RESERVED. THESE DRAWINGS ARE THE PROPERTY OF MACKENZIE AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION. DRAWN BY: JP CHECKED BY: JB	SHEET TITLE TREE RETENTION PLAN	SHEET L1.0 JOB NO: 2150124.00
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PLANT SCHEDULE



CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
ABI GRA	5	ABIES GRANDIS	GRAND FIR	NA		6' HT.
ACE CIR	13	ACER CIRCINATUM	VINE MAPLE	B & B	2" CAL	
ACE GRI	3	ACER GRISEUM	PAPERBARK MAPLE	B & B	2" CAL	
ACE SCA	4	ACER RUBRUM 'SCARLET SENTINEL'	SCARLET SENTINEL MAPLE	B & B	2" CAL	
ACE SAC	3	ACER SACCHARUM 'GREEN MOUNTAIN TM'	GREEN MOUNTAIN SUGAR MAPLE	B & B	2" CAL	
CHI VIR	1	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE	B & B	2" CAL	
COR KN3	9	CORNUS X 'KN 3B-8'	VENUS DOGWOOD	NA	2" CAL	
EXI TRE	9	EXISTING TREE	EXISTING TREE	NA		
FRA JUN	3	FRAXINUS AMERICANA 'JUNGINGER' TM	AUTUMN PURPLE WHITE ASH	B & B	2" CAL	
OXY ARB	3	OXYDENDRUM ARBOREUM	SOURWOOD TREE	B & B	2" CAL	
PAR RUB	1	PARROTIA PERSICA 'RUBY VASE'	RUBY VASE PERSIAN PARROTTA	B & B	2" CAL	
PIC ORI	7	PICEA ORIENTALIS	CAUCASIAN SPRUCE	NA	NA	4' - 6'
PIN CON	4	PINUS CONTORTA	SHORE PINE	B & B	NA	6' HT.
PSE DOU	15	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	NA	NA	6' HT.
STE PSE	4	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	B & B	2" CAL	
THU GRE	26	THUJA OCCIDENTALIS 'GREEN GIANT'	GREEN GIANT ARBORVITAE	NA		6' HT.
THU PUC	19	THUJA PLUCATA	WESTERN RED CEDAR	NA	NA	6' HT.
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT		
ARB UNE	27	ARBUTUS UNEDO	STRAWBERRY TREE	3 GAL		
ARB COM	17	ARBUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	3 GAL		
CLE CAL	17	CLETHRA ALNIFOLIA 'CALEB'	VANILLA SPICE SUMMERSWEET CLETHRA	3 GAL		
COR CAR	21	CORNUS STOLONIFERA 'CARDINAL'	CARDINAL REDTIG DOGWOOD	3 GAL		
COR FAR	67	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	1 GAL		
ESC COM	15	ESCALLONIA X 'COMPACTA'	COMPACT ESCALLONIA	3 GAL		
GAR JAM	28	GARRYA ELLIPTICA 'JAMES ROOF'	COAST SILK TASSEL	3 GAL		
GAU SHA	188	GAULTHERIA SHALLOON	SALAL	1 GAL		
MAH AQU	247	MAHONIA AQUIFOLIUM	OREGON GRAPE	1 GAL		
MAH COM	179	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	1 GAL		
MYR CAL	3	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	3 GAL		
RHA RUT	74	RHAPHOLEPIS UMBELLATA 'RUTRHAPHI'	SOUTHERN MOON YEDDA HAWTHORN	3 GAL		
RHA SNO	58	RHAPHOLEPIS X DELACOURII 'SNOWCAP'	SNOWCAP INDIAN HAWTHORN	3 GAL		
RHO FRA	18	RHODODENDRON X 'FRAGRANT STAR'	FRAGRANT STAR AZALEA	2 GAL		
RIB SAN	3	RIBES SANDUNEUM	RED FLOWERING CURRANT	3 GAL		
SAL PUR	17	SALIX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	3 GAL		
SPI MAG	66	SPIRAEA JAPONICA 'MAGIC CARPET'	MAGIC CARPET SPIREA	1 GAL		
THU DAN	17	THUJA OCCIDENTALIS 'DANICA'	DANICA GLOBE CEDAR	3 GAL		
VAC OVA	57	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	1 GAL		
VIB COM	26	VIBURNUM TRILODUM 'COMPACTUM'	DWARF CRANBERRY BUSH	3 GAL		

ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	NAR SAN	72	NARCISSUS X 'SAINT KEVERNE'	THALIA DAFFODIL	BULB	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	ARC LVA	927	ARCTOSTAPHYLOS LVA-URSI	KINKKINICK	4" POT	36" o.c.
	ASA CAU	16	ASARUM CAUDATUM	BRITISH COLUMBIA WILD GINGER	4" POT	24" o.c.
	BLE SPI	191	BLECHNUM SPICANT	DEER FERN	4" POT	24" o.c.
	CAL SAN	248	CALLUNA VULGARIS 'SANDY'	SANDY SCOTCH HEATHER	4" POT	24" o.c.
	CAR OBN	365	CAREX OBNLPTA	SLOUGH SEDGE	PLUG	24" o.c.
	HYD MIX	19,718 SF	HYDROSEED MIX	HYDROSEED MIX	SEED	
	JUN EFF	198	JUNCUS EFFUSUS	COMMON RUSH	PLUG	36" o.c.
	LON PIL	93	LONICERA PILEATA	PRIVET HONEYSUCKLE	1 GAL	48" o.c.
	MAH REP	628	MAHONIA REPENS	CREeping MAHONIA	4" POT	36" o.c.
	POL MAZ	881	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	4" POT	42" o.c.
	RUB EME	588	RUBUS CALYCNOIDES 'EMERALD CARPET'	EMERALD CARPET CREEPING RASPBERRY	4" POT	36" o.c.
	SAG SUB	47	SAGINA SUBULATA	IRISH MOSS	4" POT	18" o.c.
	SOD RPE	743 SF	SOD LAWN SOD	68% PERENNIAL RYE / 48% FESCUE	FLAT	

City of Bainbridge Island

SEP 29 2016

Planning and
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PLANTING NOTES

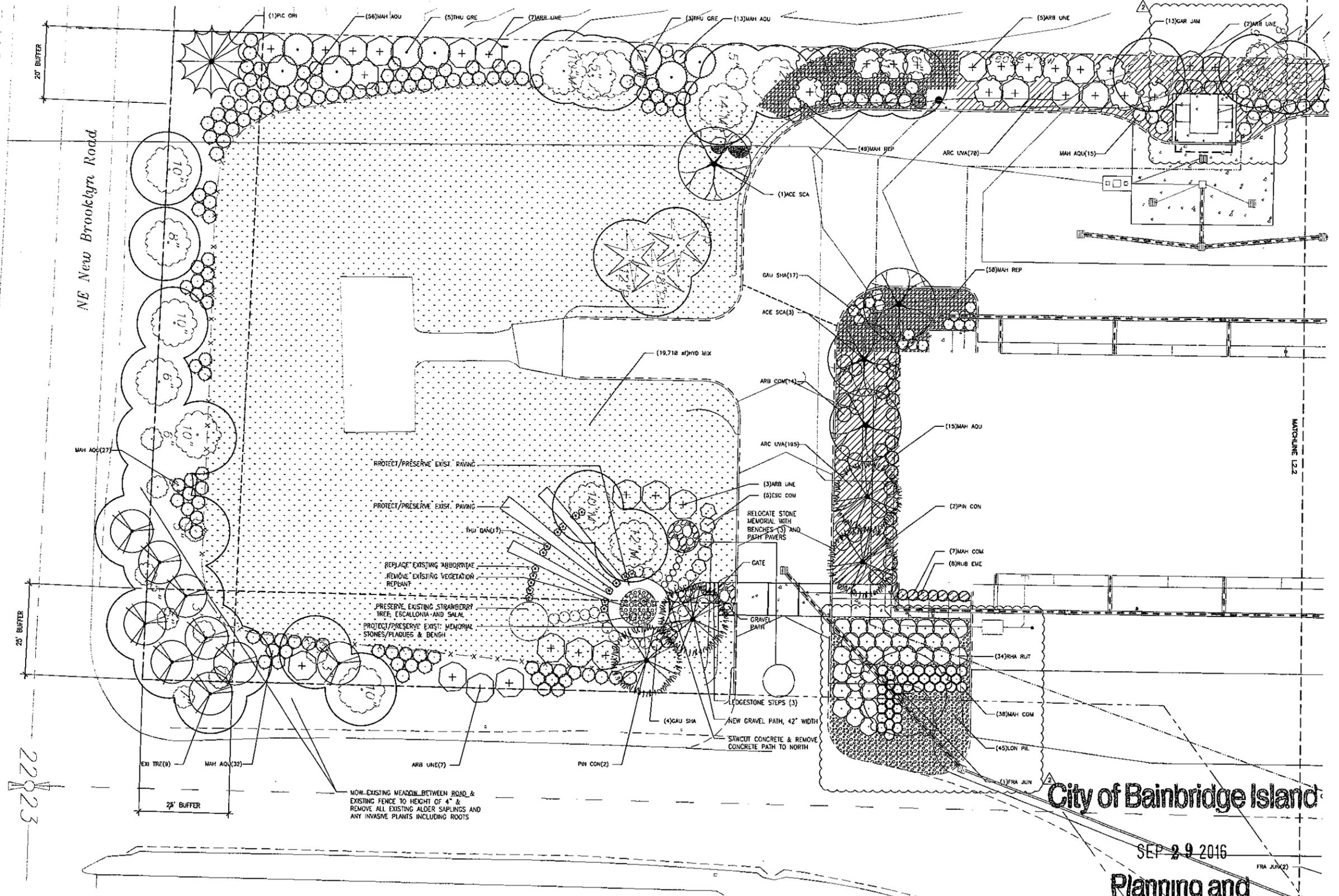
- SEE PLANT SCHEDULES FOR SPECIES, QUANTITIES, AND MINIMUM SPACING. SEE PLANTING DETAILS FOR INSTALLATION AND LAYOUT.
- CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SOIL AMENDMENTS AND CONDITIONERS IN SOIL PREPARATION AND FINISH GRADING.
- ALL CONSTRUCTION MATERIAL SHALL BE EXCLUDED FROM TOPSOIL.
- LAYOUT FOR ALL PLANTING AREAS TO BE VERIFIED ON SITE BY LANDSCAPE ARCHITECT DUE TO VARYING FIELD CONDITIONS AND DENSITIES OF EXISTING VEGETATION.
- ALL PLANT MATERIAL SHALL CONFORM TO ANSI STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- LANDSCAPE ARCHITECT WILL SUPERVISE THE PLANTING PROCESS. MODIFICATIONS TO THE PLANTING PLAN MAY OCCUR BASED ON FIELD CONDITIONS AND THE AVAILABILITY OF PLANT MATERIAL.
- PLANTINGS WILL BE B&B AND CONTAINERIZED NATIVE PLANT MATERIAL, AS APPROPRIATE AND SPECIFIED, FROM REGIONAL GENETIC STOCK. PLASTIC NURSERY IDENTIFICATION TAGS WILL BE ATTACHED TO THE STEM OF EACH PLANTING.
- LOCAL NURSERY STOCK WILL BE USED TO ENSURE THAT THE MATERIAL HAS ACCLIMATED TO LOCAL CONDITIONS (REDUCING PLANTING STRESS) AND IS GENETICALLY COMPARABLE WITH PLANTS IN THE LOCAL AREA.
- FINAL PLANT LISTS WILL BE CONTINGENT UPON PLANT AVAILABILITY. IF SELECTED SPECIES ARE UNAVAILABLE FROM LOCAL NURSERIES THEN UPON APPROVAL OTHER GENUS OR SPECIES WITH SIMILAR HYDROLOGICAL REQUIREMENTS MAY BE SUBSTITUTED.
- TREES WILL BE STAKED ONLY IF A PLANT CANNOT STAND ALONE IN A MODERATE WIND PER PLANTING DETAILS.
- ALL PLANTINGS WILL BE MULCHED WITH A MINIMUM OF 3 INCHES OF ORGANIC MULCH AS SPECIFIED TO DISCOURAGE WEED GROWTH, MINIMIZE SOIL EROSION, AND RETAIN MOISTURE. THE MULCH IS NOT TO MAKE CONTACT WITH THE PLANT STEM.
- DO NOT DISTURB TREES AND VEGETATION OUTSIDE LIMIT OF WORK.
- IF TREES HAVE NOT BEEN DESIGNATED AS SAVE OR REMOVE ON DEMO OR OTHER PLANS IT SHOULD BE ASSUMED THAT THEY ARE TO BE SAVED.
- USE FINE SHREDDED ORGANIC BARK MULCH IN RAIN GARDENS TO AVOID FLOTATION OF MATERIAL.
- THE ENTIRE WIDTH OF THE PLANTING ISLANDS SHALL CONTAIN ONLY SOIL, AND BY WAY OF ILLUSTRATION ONLY AND NOT LIMITATION, BE FREE OF GRAVEL, CONCRETE, CONSTRUCTION DEBRIS, OR OTHER FOREIGN MATERIALS.
- ALL PLANTING AREAS TO BE IRRIGATED - IRRIGATION PLANS ARE NOT INCLUDED. IRRIGATION WILL BE DESIGNED/BUILT BY CONTRACTOR BASED ON PERFORMANCE SPECIFICATIONS PROVIDED.
- DO NOT DIG BEFORE LOCATING UTILITIES.
- ALL LANDSCAPE AREAS DESIGNED FOR INSTALLATION OF TREES SHALL HAVE A MINIMUM SOIL DEPTH OF 18" PLUS 8" SCARIFIED SUBGRADE. MINIMUM SOIL DEPTH SHALL INCLUDE SOILS THAT MEET SOIL SPECIFICATIONS.
- FOR ALL TOPSOIL, THE CONTRACTOR SHALL OBTAIN A LANDSCAPE SOIL ANALYSIS CERTIFYING THAT THE SOIL MEETS THE SOIL SPECIFICATIONS. THE CERTIFICATION SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT AND APPROVED PRIOR TO SOIL DELIVERY.
- APPLY 3" DEPTH OF ORGANIC BARK MULCH IN ALL PLANTING AREAS. MULCH TO BE FREE OF WEED SEED, SANDUST, RESIN OR TANNIN, AND SHALL NOT CONTAIN ANY COMPOUNDS DETRIMENTAL TO PLANT GROWTH. PULL MULCH 3" AWAY FROM BASE OF PLANT.
- ALL PLANT MATERIAL SHOULD BE DISEASE FREE AND ARRIVE IN A VIGOROUS GROWING CONDITION.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN THE SITE UNTIL FINAL INSPECTION AND ACCEPTANCE BY THE OWNER.
- ALL LANDSCAPE INSTALLATION TO BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- A PRE-CONSTRUCTION CONFERENCE PRIOR TO THE START OF ANY LANDSCAPE CONSTRUCTION IS REQUIRED.
- PLANTS SHALL BE INSPECTED PRIOR TO PLANTING TO VERIFY CONFORMANCE WITH PLANTING SIZE AND OTHER REQUIREMENTS.
- ALL LANDSCAPING SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE BY THE OWNER.
- PRIOR TO THE END OF THE WARRANTY PERIOD, THE LANDSCAPE WILL BE INSPECTED AND DEAD OR UNHEALTHY PLANTS WILL BE REQUIRED TO BE REPLACED WITH SAME SPECIES AND SIZES.

GENERAL NOTES

- REFER TO ARCHITECTURAL & CIVIL DRAWINGS FOR LIMITS OF WORK AND DEMOLITION OF EXISTING SITE ITEMS.
- REFER TO CIVIL DRAWINGS FOR LANDSCAPE GRADING AND DRAINAGE.
- REFER TO ARCHITECTURAL DRAWINGS FOR SITE HARDSCAPE DETAILS.
- EXISTING TREES TO BE PROTECTED - REFER TO PLANTING PLAN AND CIVIL DEMO PLAN FOR LOCATIONS AND CIVIL PLANS & SPECS FOR TREE PROTECTION DETAILS. CONTRACTOR IS SUBJECT TO PENALTIES FOR DAMAGE TO OR REMOVAL OF THESE TREES.

ATTACHMENT O

<p>MECHANICAL/ELECTRICAL INTERFACE ENGINEERING 708 SW 3RD, SUITE 400 PORTLAND, OR 97204</p>	<p>LANDSCAPE FISCHER BOUMA PARTNERSHIP 310 MADISON AVENUE SOUTH, SUITE A BAINBRIDGE ISLAND, WA 98110</p>	<p>Architecture • Interiors • Planning • Engineering</p> <p>M.</p> <p>Portland, OR 503.224.8550 Vancouver, WA 360.696.7879 Seattle, WA 206.749.9883</p> <p>MACKENZIE. DESIGN DRIVEN • CLIENT FOCUSED</p>	<p>Client</p> <p>BAINBRIDGE ISLAND FIRE DEPARTMENT 8895 MADISON AVE. NE BAINBRIDGE ISLAND, WA 98110</p>	<p>Project</p> <p>BAINBRIDGE ISLAND FIRE DEPT STATION 21 8895 MADISON AVE. NE</p>	<p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td></td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>2</td> <td></td> <td>ISSUED FOR PERMITS</td> </tr> </table>	NO.	DATE	DESCRIPTION	1		ISSUED FOR PERMITS	2		ISSUED FOR PERMITS	<p>DATE: 08/16/16</p> <p>DESIGNED BY: [Signature]</p> <p>CHECKED BY: [Signature]</p>	<p>SCALE: AS SHOWN</p> <p>DATE: 08/16/16</p> <p>DESIGNED BY: [Signature]</p> <p>CHECKED BY: [Signature]</p>	<p>SHEET TITLE:</p> <p>PLANT SCHEDULE + NOTES</p>	<p>SHEET</p> <p>L2.0</p> <p>JOB NO. 2150124.00</p>
NO.	DATE	DESCRIPTION																
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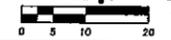
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City of Bainbridge Island

SEP 29 2016

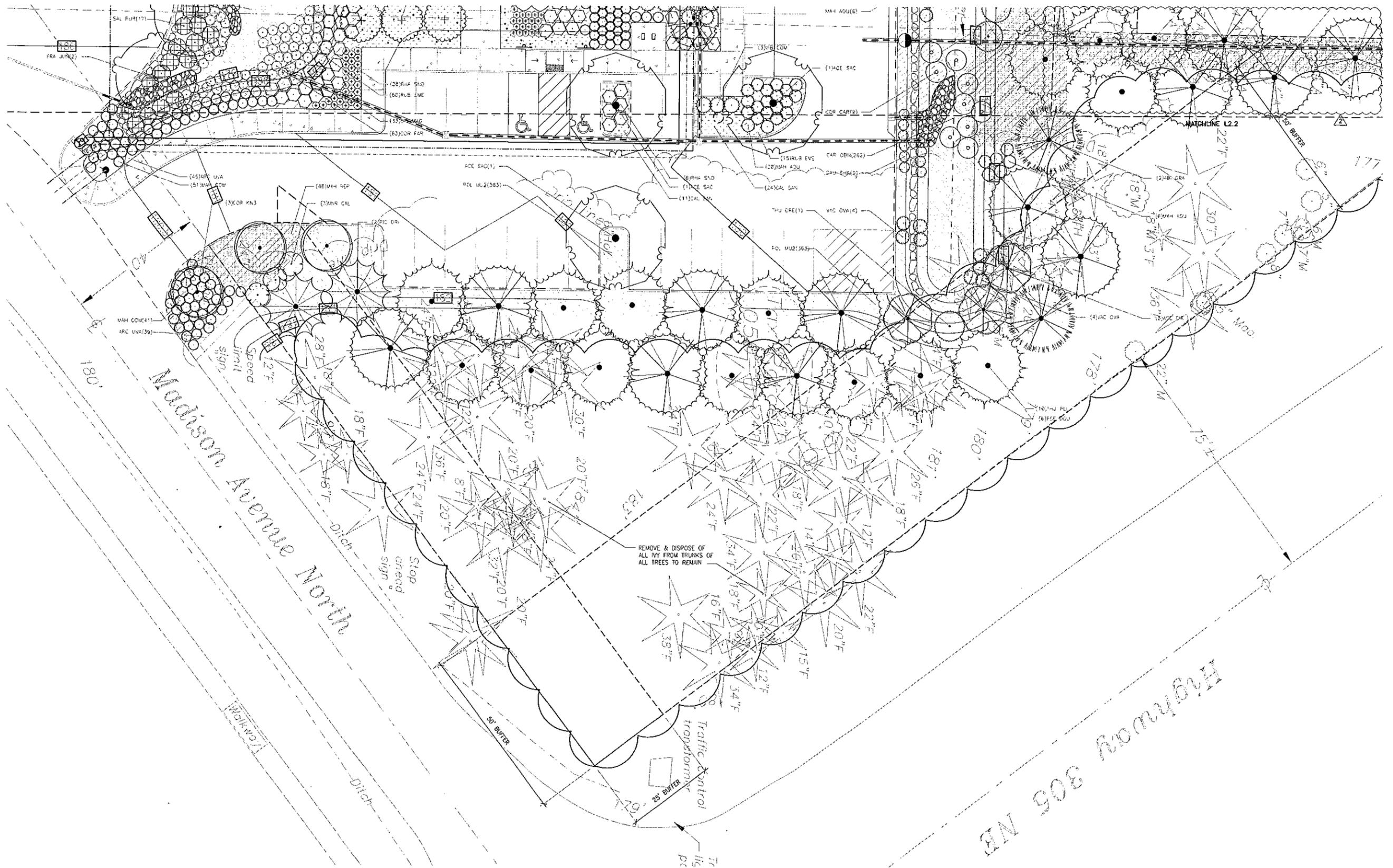
Planning and
Community Development

PLANTING PLAN - SOUTH
1"=10'-0"



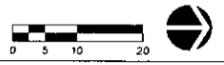
<p>MECHANICAL/ELECTRICAL INTERFACE ENGINEERING 708 SW 3RD, SUITE 400 PORTLAND, OR 97204</p>	<p>LANDSCAPE FISCHER BOUMA PARTNERSHIP 310 MADISON AVENUE SOUTH, SUITE A BAINBRIDGE ISLAND, WA 98110</p>	<p>Architecture • Interiors • Planning • Engineering</p> <p>M.</p> <p>Portland, OR 503.224.9580 Vancouver, WA 360.695.7076 Seattle, WA 206.749.5552</p> <p>MACKENZIE</p> <p>DESIGN DRIVEN • CLIENT FOCUSED</p>	<p>Client</p> <p>BAINBRIDGE ISLAND FIRE DEPARTMENT 8895 MADISON AVE. NE BAINBRIDGE ISLAND, WA 98110</p>	<p>Project</p> <p>BAINBRIDGE ISLAND FIRE DEPT STATION 21 8895 MADISON AVE. NE</p>		<p>REVISIONS:</p> <p>REVISION DELTA CLOSING GATE</p> <p>1. 8/23/16 REVISIONS PER SPR COMMENT</p> <p>2. 8/23/16 ADDITIONAL REVISIONS</p>	<p>© 2016 ALL RIGHTS RESERVED THESE DRAWINGS ARE THE PROPERTY OF MACKENZIE AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER, WITHOUT PRIOR WRITTEN PERMISSION</p> <p>DRAWN BY: JP</p> <p>CHECKED BY: JB</p>	<p>SHEET TITLE:</p> <p>PLANTING PLAN - SOUTH</p> <p>SHEET</p> <p>L2.1</p>	<p>REVISED 08/12/16</p> <p>JOB NO. 2150124.00</p>
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PERMIT SET 06/30/16



ATTACHMENT R

PLANTING PLAN - EAST
1"=10'-0"



MECHANICAL/ELECTRICAL
INTERFACE ENGINEERING
708 SW 3RD, SUITE 400
PORTLAND, OR 97204

LANDSCAPE
FISCHER BOUMA PARTNERSHIP
310 MADISON AVENUE
SOUTH, SUITE A
BAINBRIDGE ISLAND, WA
98110



Architecture • Interiors • Planning • Engineering
Portland, OR 503.224.9560 Vancouver, WA 360.695.7679 Seattle, WA 206.749.9993
MACKENZIE.
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Client
BAINBRIDGE ISLAND FIRE DEPARTMENT
8895 MADISON AVE. NE
BAINBRIDGE ISLAND, WA 98110

Project
BAINBRIDGE ISLAND FIRE DEPT STATION 21
8895 MADISON AVE. NE



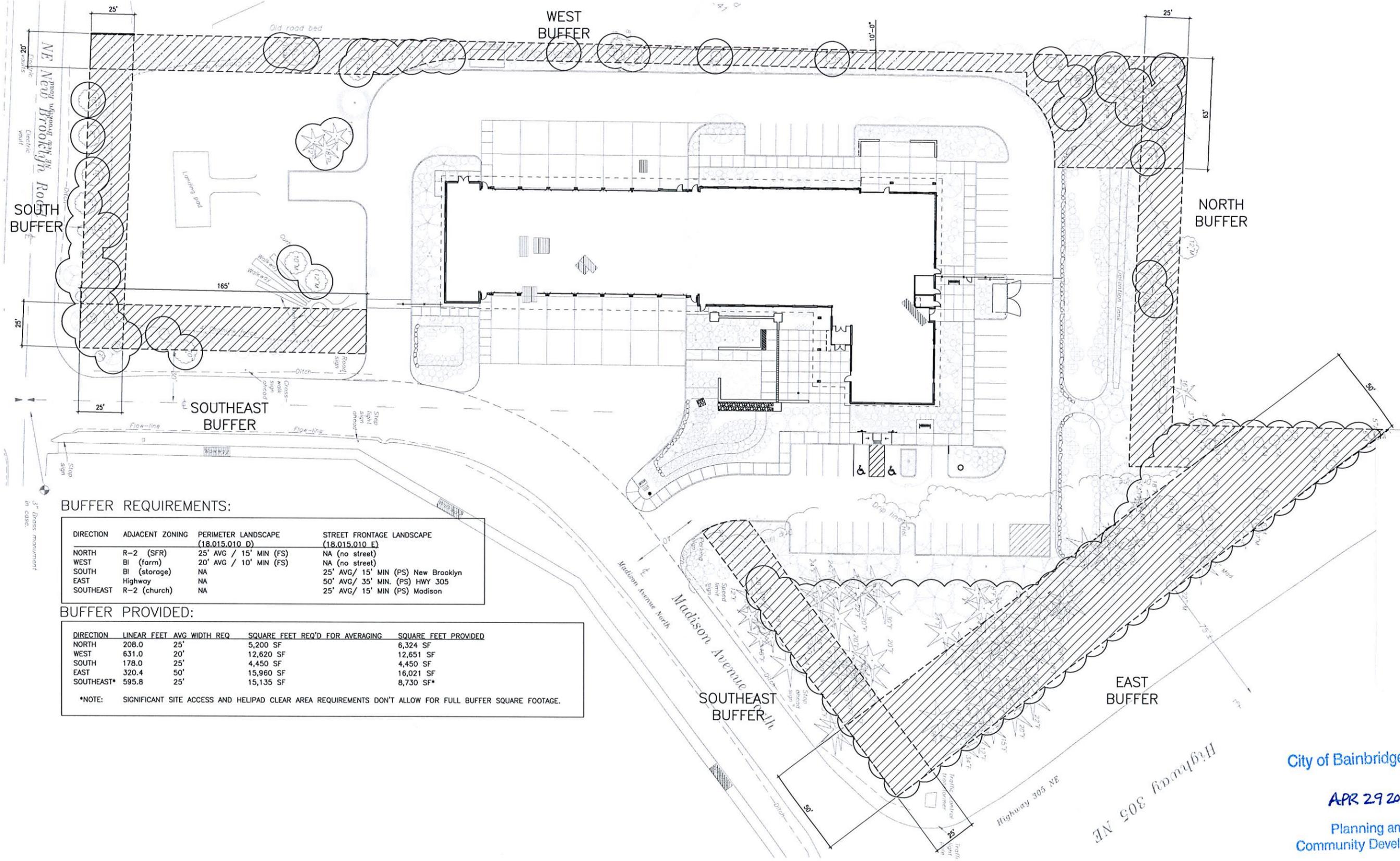
REVISIONS:

NO.	DATE	DESCRIPTION
1	04/20/16	REVISIONS PER SDR COMMENT
2	05/13/16	ADDRESS CORRECTIONS

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DRAWN BY:
JP
CHECKED BY:
JB

SHEET TITLE:
PLANTING PLAN - EAST

SHEET
L2.3
JOB NO. 2150124.00



BUFFER REQUIREMENTS:

DIRECTION	ADJACENT ZONING	PERIMETER LANDSCAPE (18.015.010 D)	STREET FRONTAGE LANDSCAPE (18.015.010 E)
NORTH	R-2 (SFR)	25' AVG / 15' MIN (FS)	NA (no street)
WEST	BI (farm)	20' AVG / 10' MIN (FS)	NA (no street)
SOUTH	BI (storage)	NA	25' AVG/ 15' MIN (PS) New Brooklyn
EAST	Highway	NA	50' AVG/ 35' MIN. (PS) HWY 305
SOUTHEAST	R-2 (church)	NA	25' AVG/ 15' MIN (PS) Madison

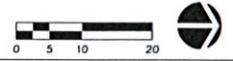
BUFFER PROVIDED:

DIRECTION	LINEAR FEET	AVG WIDTH REQ	SQUARE FEET REQ'D FOR AVERAGING	SQUARE FEET PROVIDED
NORTH	208.0	25'	5,200 SF	6,324 SF
WEST	631.0	20'	12,620 SF	12,651 SF
SOUTH	178.0	25'	4,450 SF	4,450 SF
EAST	320.4	50'	15,960 SF	16,021 SF
SOUTHEAST*	595.8	25'	15,135 SF	8,730 SF*

*NOTE: SIGNIFICANT SITE ACCESS AND HELIPAD CLEAR AREA REQUIREMENTS DON'T ALLOW FOR FULL BUFFER SQUARE FOOTAGE.

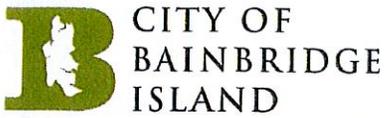
ATTACHMENT S

City of Bainbridge Island
 APR 29 2016
 Planning and
 Community Development



LANDSCAPE BUFFER DIAGRAM
 1" = 20'-0"

MECHANICAL/ELECTRICAL INTERFACE ENGINEERING 708 SW 3RD, SUITE 400 PORTLAND, OR 97204	LANDSCAPE FISCHER BOUMA PARTNERSHIP 310 MADISON AVENUE SOUTH, SUITE A BAINBRIDGE ISLAND, WA 98110	Architecture • Interiors • Planning • Engineering Portland, OR 503.224.9560 Vancouver, WA 360.695.7879 Seattle, WA 206.749.9993	Client BAINBRIDGE ISLAND FIRE DEPARTMENT 8895 MADISON AVE. NE BAINBRIDGE ISLAND, WA 98110	Project BAINBRIDGE ISLAND FIRE DEPT STATION 21 8895 MADISON AVE. NE	STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT JEFFREY S. BOUMA CERTIFICATE NO. 847	REVISIONS: REVISION NUMBER REVISION DESCRIPTION 1 04/29/2016 REVISIONS PER SPR FLOWMENT	© MACKENZIE 2016. ALL RIGHTS RESERVED. THESE DRAWINGS ARE THE PROPERTY OF MACKENZIE AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER, WITHOUT PRIOR WRITTEN PERMISSION. DRAWN BY: JP CHECKED BY: JB	SHEET TITLE: LANDSCAPE BUFFER DIAGRAM	SHEET L3.0 JOB NO 2150124.00
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Memorandum

Department of Planning and Community
Development

To: Joshua Machen, Planning Manager
From: Janelle Hitch, P.E., Development Engineer *JCH*
Date: October 6, 2016
Re: Fire Station 21 – Site Plan Review & Conditional Use Permit

Related Application Number:

PLN11791 SPR/CUP

Project Description:

The proposed plan will replace the existing fire station with a new station building. The fire station is located at 8895 Madison Avenue and fronting SR305 and New Brooklyn Road. The site comprises two tax parcels 4159-000-050-0206 and 22502-1-023-2000.

Comments:

I have completed a review of the above referenced project materials received by the City of Bainbridge Island (COBI). Please see the comments below for information on the proposed development.

1. The conditional use conforms to regulations concerning drainage in BIMC 15.20 and 15.21; and
2. The conditional use will not cause an undue burden on the drainage basin or water quality and will not unreasonably interfere with the use and enjoyment of properties downstream; and
3. The streets and pedestrian ways as proposed align with and are otherwise coordinated with streets serving adjacent properties, see additional condition.
4. The streets and pedestrian ways as proposed are adequate to accommodate anticipated traffic; and
5. There is capacity in the water and sewer system to serve the conditional use, and the applicable services can be made available at the site.
6. The conditional use conforms to the "City of Bainbridge Island Design and Construction Standards and Specifications Manual".

Conditions:

1. Frontage improvements along New Brooklyn Road must be completed prior to Certificate of Occupancy and/or Final Inspection. Frontage improvements include pedestrian sidewalk and t

ATTACHMENT T

2. A mid-block crosswalk on Madison Avenue must be designed, approved, and constructed prior to Certificate of Occupancy and/or Final Inspection.
3. All on-site stormwater facilities shall remain privately owned and maintained. The owner shall be responsible for maintenance of the storm drainage facilities for this development following construction. Annual inspection and maintenance reports shall be provided to the City. A Declaration of Covenant for stormwater system operation and maintenance will be required to be recorded before issuance of occupancy permits. The approved language for the Declaration of Covenant is found in BIMC 15.21 Exhibit A.

Permits Required:

1. A NPDES permit from the Department of Ecology will be required prior to ground disturbing activities.
2. A Right-of-Way permit will be required prior to any work within the right of way. The ROW permit will be subject to separate conditions and bonding requirements.



CITY OF BAINBRIDGE ISLAND
DESIGN REVIEW BOARD
Regularly Scheduled Meeting Minutes
Monday, December 21, 2015 at 2:00 p.m.
City Council Conference Room
280 Madison Ave N
Bainbridge Island, Washington 98110

Call to Order (Attendance, Agenda, Ethics)

The Ravine Apartments PLN50039 SPR Follow-up

BIFD Station 21 – Pre-application

BIFD Station 22 – Pre-application

Montessori Country School PLN17677 PRE Pre-application

Old and New Business

Adjournment

Call to Order (Attendance, Agenda, Ethics)

Chair Alan Grainger called the meeting to order at 2:01 PM. Other Design Review Board (DRB) members present were Peter Perry, Susan Bergen, Jeff Boon and Chris Gutsche. Jim McNett and Chuck Depew were absent and excused. City Staff in attendance were Planning Manager Joshua Machen, Planner Kelly Tayara and Administrative Specialist Jane Rasely who monitored recording and prepared minutes. Mr. Grainger welcomed new DRB members Mr. Gutsche and Mr. Boon.

The Ravine Apartments PLN50039 SPR Follow-up

Mr. Grainger gave an overview of the project to the new members. Roof slope and retaining a large tree near the building were discussed. Clients were invited in at 2:20 PM. Introductions were made all around. Devin Johnson for Johnson Squared presented the changes in roof line and the plan to save a large tree. Mr. Grainger thanked them for the changes in the roofline, saying the DRB appreciated that the bulk of the building was reduced by it. Ms. Bergen asked how they planned to save the tree, i.e., what changes were they going to make. Mr. Johnson replied they were going to move the garbage area back away from the tree and use grassy pavers instead of paving the area. Mr. Machen stated that if they were committed to saving the tree, they needed to come up with a plan for that. Mr. Johnson replied they would work with an arborist to come up with a plan for saving the tree as well as working with a Geotech engineer to plan changes to the foundation.

Motion: I move we recommend the plan going forward.

Perry/Bergen: Passed unanimously 5-0

While waiting for the BIFD architects (held up by ferry), Planner Tayara briefed the DRB about the Montessori Country School application. Mr. Gutsche asked if he needed to recuse himself for having worked with the Montessori Country School about 10 years ago. Mr. Grainger did not feel he needed to since it was so long ago, but agreed he should do so if he felt it necessary. Planner Tayara mentioned one item up for discussion was traffic and the need to keep traffic from backing up on the road during certain times of day.

BIFD Station 21 – Pre-application

Brett Hansen and Chauncey Drinon from Mackenzie Architects were introduced. Mr. Hansen gave an overview of their part in the design process from pre-bond stage to pre-application. He stated all the programming (design) is based on future need. Key particulars driving design were:

- Public parking moved to edge
- Pull through bays
- Medic helicopter pad
- Trees and existing storm water retention to be reused.
- Existing memorial retained
- Vegetation around helipad
- Public plaza.

There was discussion of the roof line and whether the lines would remain clean or would mechanical equipment be placed upon it. Mr. Hansen stated yes they would remain clear with the exception of ham radio antennas that would be mounted on one of the sides of the building. The number and sizes of bays were discussed as well as the size of the roof line (300 feet) and how to break up the look of it. The approach from the south when driving up Madison Avenue was also reviewed. Mr. Hansen summarized the concerns the DRB had and gave initial thoughts as to where, how and whether it was functional to respond to them. Mr. Grainger then brought up providing a connection to the existing trail behind the property. Assistant Fire Chief Luke Carpenter stated security was an issue for putting a trail through the property.

BIFD Station 22 – Pre-application

Mr. Hansen gave a brief overview of the plans for Station 22 stating the same materials were being used to maintain a consistent look across the organization. Mr. Gutsche thought the design was good for the more rural setting (as opposed to Station 21) but asked if the pitch of the roof could be changed to allow for a more southern exposure to accommodate future solar panels. The DRB also expressed the desire to raise the red wall with the identifying “22” above the roof line. Mr. Grainger stated they looked forward to seeing this design at the Site Plan Review meeting.

Montessori Country School PLN17677 PRE Pre-application

Introductions were made around the table with the project design team of Russ Hamlet, Brandon Hogue and Kia Micaud. Planner Tayara mentioned the public meeting for this project was being held on January 4, 2016 at the school. Mr. Hamlet expressed the vision statement of this project was to bring the two campuses together on one campus to facilitate student interaction and teacher collaboration. He continued providing an overview of the site plan showing buffers, administrative buildings and classrooms including a proposed future classroom. Ms. Micaud described landscaping, parking spaces utilizing crushed rock instead of paving, fencing, maintenance access gates and play areas. ADA accessibility was remarked upon when Mr. Grainger asked the type of materials used on the pathways that would allow wheelchair access. Mr. Hamlet discussed that deck overhangs were designed with accessibility for solar panels in mind. Storm water drainage was discussed and whether building a rain garden in the buffer would be possible. Mr. Hamlet mentioned they would come back in April or May before they applied for the building permit. Mr. Grainger spoke for the DRB saying they felt very good about this project.

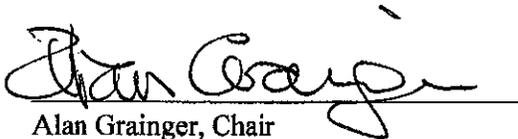
Old and New Business

None.

Adjournment

Meeting was adjourned at 5:05 PM.

Approved by:


Alan Grainger, Chair


Jane Rasely, Administrative Specialist



**CITY OF BAINBRIDGE ISLAND
DESIGN REVIEW BOARD - REGULAR MEETING**

December 21, 2015

PLEASE PRINT

Name	Affiliation	Phone/ E-Mail	Join ListServ Yes/No
Chris Gutschik		chris@ecosmithdesign.com	yes
JEFF BOON		206-499-3354	yes
PETER PERRY	DRB		
Susan Bergen	DRB		
Alan Grainger	DRB		
EMILT SCALI	Johnson Squared	emily@johnsonsquared.com	no
BILL RAUSOM	WLG (owner)	bjran.com/8@gmail.com	no
CHAUNCEY DRINON	MACKENZIE	cdrinon@mckenze.com	
Luke Carpenter	BIFD	lcarpenter@bifd.org	
BRETT HANSON	DRB Mackenzie	bhanson@mckenze.com	
Kelsey Laughlin	Bronne Wheeler Engineers	kelseyebrownwheeler.com	yes
Meghan Skotheim	Meghan Country School	meghan@meghancountryschool.org	no
KIM MICAUD	Catherine Micaud Landscape	kim.micaud@gmail.com	no
RUSS HAMLET	SH-A		OK
Branon Hegg	SH-A		

Call to Order (Attendance, Agenda, Ethics)
Bainbridge Island Fire Department Station 21 (PLN11791SPR/CUP)
Bainbridge Island Fire Department Station 22 (PLN14200SPR/CUP)
Wyatt Cottages (PLN50165SPR)
New/Old Business
Adjourn

Call to Order (Attendance, Agenda, Ethics)

Chair Grainger called the meeting to order at 2:06 PM. Other Design Review Board members in attendance were Jim McNett, Chuck Depew and Chris Gutsche. Peter Perry, Susan Bergen and Jeff Boon were absent and excused. City Staff present were Planning Manager Josh Machen and Administrative Specialist Jane Rasely who monitored recording and prepared minutes.

The agenda was reviewed and Mr. Grainger asked that the fire departments be reviewed in the opposite order with review of BIFD Station 22 coming first. There were not any conflicts of interest disclosed.

Bainbridge Island Fire Department Station 22 (PLN14200SPR/CUP)

Planning Manager Josh Machen gave an overview of the changes to the project citing the unexpected change in City personnel that occurred on both BIFD projects.

Brett Hansen and Chauncey Drinon from Mackenzie Architects presented the proposed site plans for both fire stations. Mr. Drinon walked the DRB through the changes made to Station 22 stating the biggest change was the removal of the public meeting space. Landscaping elements, types of shrubbery, etc., were highlighted. He stated with the removal of the public meeting room, less impervious surface would be created and more trees would be saved as the entire project would be moved further south on the site. Mr. Grainger asked if there was a site plan available that showed the reduction in parking. Mr. Hanson replied there was not one available at that time. Mr. Gutsche asked how much closer to the street the building would be. Mr. Hanson replied it would be 20-25 feet closer. Mr. Depew asked what the reduction in the building size would be. Mr. Drinon replied the building would go from 15,000 square feet to 14,000 square feet. Color and design materials were presented and described as applicable to both Fire Station 22 and 21.

Mr. McNett asked if there would be any mechanical equipment on the roof. It was stated there would not be any mechanical equipment on either of the proposed fire station roofs. Discussion of the trash enclosure ensued with Mr. Machen reminding the designers that the enclosure must be designed and built in the same style as the building.

The Design Checklist was reviewed with the following answers given by the DRB:

1. Variation in facade provided visual interest - Yes
2. Modulate scale of building - Yes
3. Limit visual impact of blank walls and facades - Yes
4. Establish visually prominent ground floor facades - Yes

-
5. Maintain pedestrian scale along facades - Yes
 6. Maintain pedestrian activities - Yes
 7. Reduce overall scale of building - Yes
 8. Encourage creation of public outdoor spaces – No; Gap in application. Mr. Hanson stated they would submit the landscape plan.
 9. Soften impact of built environment - Yes
 10. Compatible with community and neighborhood characteristics - Yes
 11. Minimize intrusiveness of signage - Yes
 12. Improve pedestrian environment - Yes
 13. Provide pedestrian access - Yes
 14. Provide weather protection for pedestrians - Yes
 15. Maintain smaller scale commercial buildings - Yes
 16. Reduce visual impact of parking areas - Yes

Motion: I move conditional approval of application subject to submission of a final site plan that conforms to the new design as well as the landscaping plan that relates to that site plan based on their presentation on March 7, 2016.

Depew/Grutsche: Unanimous approval.

Bainbridge Island Fire Department Station 21 (PLN11791SPR/CUP)

Mr. Hansen provided a review of the key element questions the DRB had during the pre-application presentation. He stated there was a reduction in the size of the building by one equipment bay. Some of the administration function was moved back to the first floor with the bulk staying on the second floor. Mr. Hansen also reiterated they would be using the same materials and design concepts as Fire Station 22 to maintain continuity between fire stations as well as provide recognition from the public. The private areas of the fire station were explored and locations of the gates were shown. Discussion ensued of the roofline over the southern part of the bays/service area. Arguments were presented for moving the “fire tower” with the identifying 21 to the other end of the bays from its current situation with numerous other locations for the “21” explored. Mr. Grainger asked Mr. Machen whether the site plan typically included the landscape plans. Mr. Machen stated it could be part of it, but was not necessarily part of the Design Guidelines. He also pointed out that the landscaping plans were part of the packet and that a presentation by the actual landscape architect had not been expected in the past. The DRB asked for them to come back with landscape information as they were going to do for Station 22.

The Design Checklist was reviewed with the following answers given by the DRB:

1. Variation in façade provided visual interest - Yes
2. Modulate scale of building - Yes
3. Limit visual impact of blank walls and facades - Left Open to see south elevation again
4. Establish visually prominent ground floor facades - Yes
5. Maintain pedestrian scale along facades - Left Open to see landscape plan
6. Maintain pedestrian activities - Yes
7. Reduce overall scale of building - Yes
8. Encourage creation of public outdoor spaces - Left Open to see landscape plan
9. Soften impact of built environment - Left Open to see landscape plan
10. Compatible with community and neighborhood characteristics - Yes
11. Minimize intrusiveness of signage - Yes
12. Improve pedestrian environment - N/A

13. Provide pedestrian access - Yes
14. Provide weather protection for pedestrians - Yes
15. Maintain smaller scale commercial buildings - Yes
16. Reduce visual impact of parking areas - Yes

Motion: I move we approve the design as shown with the contingency based on the presentation of the landscape plan by the landscape architect. Approval also contingent upon material requirements brought forth at next meeting (March 7, 2016).

McNett/Depew: Passed unanimously

Wyatt Cottages PLN50165 SPR

Josh Machen provided an overview of the changes to the design that was seen at the pre-application review.

When the applicant entered, introductions were made around the table. There were two citizens/neighbors present as well as developer James Laughlin and architect Bruce Anderson. Mr. Anderson provided a review of the previous action during the pre-application phase as well as an overview of the current project mentioning that the "tot lot" park was no longer being moved. Mr. Laughlin mentioned that he held an open house at the Oliver house and invited all members of the public who left their e-mails during the pre-application phase to view the new plans which were well received. Mention was made of the two parking spaces the park district asked for the applicant to provide for the park. (BIMPRD actively discourages parking at the "tot lot.") Mr. Grainger asked about the large scale trees in the small scale landscaping. Mr. Anderson stated those would be going closer to the park. Lighting of entry ways as well as the driveway was discussed as "moon" light as opposed to "up" lighting. Mr. McNett asked whether covers for vehicle parking would be allowed. Mr. Laughlin stated if the owners all voted for that (the development would be a condominium) they could do that but it would be written into the CCRs. There was discussion with citizens (see attached sign-in sheet) regarding the acceptability of changes made to the site plan from the previous site plan submitted.

Motion: I move acceptance of the revised site plan for the project.

Answers to Design Guidelines were:

1. Parking lot visually unobtrusive – Yes
2. Open space and amenities – Yes
3. Pedestrian connection – Yes
4. Shielded lighting – Yes
5. Service areas screened – Yes
6. Common open space – Yes
7. Overall form – Very positive
8. Entrances from street clear – Yes
9. Mechanical equipment concealed – Yes
10. Structured parking – N/A
11. Varied details – Yes
12. Integrated signage – N/A



- 13. Creativity – Yes
- 14. Awning signs – N/A
- 15. Landscape front setbacks – Yes
- 16. Strong reference point to key intersections – Yes
- 17. Residential roof forms – Not following normal, but great solution

Motion: I move acceptance of the revised site plan for the project.
Depew/McNett: Passed unanimously 4-0

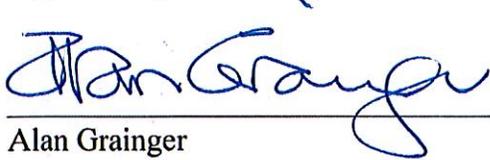
New/Old Business

Mr. Grainger informed the other DRB members he would be their representative at the all-day interview process for the new Planning Director on February 23, 2016.

Adjourn

The meeting was adjourned at 6:00 PM.

Approved by:



Alan Grainger



Jane Rasely



CITY OF
BAINBRIDGE ISLAND

CITY OF BAINBRIDGE ISLAND
DESIGN REVIEW BOARD - REGULAR MEETING

February 22, 2016

PLEASE PRINT

Join
ListServ
Yes/No

Name	Affiliation	Phone/ E-Mail	Join ListServ Yes/No
Chris Gutsche	DRB	chris@ecosmithdesign.com	Y
Jim McNett	DRB		
Alan Grainger	DRB		
Ron Pfeiffer	DRB	vip@ten@bainbrvillage.com	
Chuck Popov	DRB		
Brian Kalkin	Bainbridge Review	editor@bainbridge.com	Y
Hank Teresh	Fire	nteran@BFD.org	
Janine Courtemanche	Fire	flourtemanche@bfd.org	
Brett Hanson	Mackenzie	bhanson@mcknzc.com	
CHARLES DRINDON	Mackenzie	cdrinon@mcknzc.com	
BRUCE ANDERSON	CAA	BRUCE@CATEL-ANDERSON.COM	
CRAIG SPENCER	CITIZEN	cspencerstudio@gmail.com	
Margaret Celestina	ME16H30R	stability4@gmail.com	
James Laughlin	Applicant	jmlaughlin32@gmail.com	

Call to Order (Attendance, Agenda, Ethics)
Approval of Minutes - January 4, 2016
Jones House Site Plan Review (PLN50311SPR)
Bainbridge Island Fire Department Station 21 (PLN11791SPR/CUP)
Bainbridge Island Fire Department Station 22 (PLN14200SPR/CUP)
New/Old Business
Adjourn

Call to Order (Attendance, Agenda, Ethics)

Chair Alan Grainger called the meeting to order at 2:14 PM. Design Review Board (DRB) members in attendance were Jim McNett, Chuck Depew, Chris Gutsche and Jeffrey Boon. Susan Bergen and Peter Perry were absent and excused. Council Liaison Ron Peltier attended. City Staff present were Planning Manager Josh Machen, Senior Planner Heather Beckmann and Administrative Specialist Jane Rasely who monitored recording and prepared minutes. The agenda was reviewed without any conflicts reported.

Approval of Minutes - January 4, 2016

Motion: I move to approve the minutes.

Gutsche/Depew: Passed unanimously

Jones House Site Plan Review (PLN50311SPR)

Jon Thornburgh presented the newest information for the Jones House, one of the two houses his family owns on Ericksen Avenue. He passed out new plans stating the site plans contained in the agenda packet were out of date. Mr. Thornburgh answered the previous questions from the DRB showing pictures of mature trees and giving explanations as to the thought process that went into the site plan. Mr. Grainger engaged in a discussion of moving the staircase in order to facilitate door and dormer placement on the second floor. ADA parking was presented as well. The need for underground parking was canvassed and it was suggested that Mr. Thornburgh check with Project Manager Heather Beckmann about possibilities regarding the height and underground parking correlation and whether underground parking was necessary to accommodate the increased height of the building. Mr. McNett and Mr. Depew agreed it would have been nice to see actual pictures of the current building.

Discussion of the DRB's role in determining land use occurred between project reviews with the Assistance Dogs of Hawaii project used as an example.

Conversation about public buildings and how the requirements are different than for private projects led out of a preview of the landscape plans for BIFD Station 22.

Chris Gutsche excused himself from the meeting briefly at 3:10 PM.

Bainbridge Island Fire Department Station 22 (PLN14200SPR/CUP)

Mr. Brett Hansen introduced Jeff Bouma who spoke about the landscape site design. Mr. Bouma stated they had surveyed and inventoried every tree on both sites as well as updated the buffer diagrams. He said they were meeting the buffer requirements for both sites. He also stated they would be saving 134 out of 140 trees at Station 22. He furthered the discussion by relating the impetus for the plant palate citing an inspirational beautiful Japanese maple tree onsite. Mr. Depew asked about the difference in plants chosen for a rain garden as opposed to other areas on a site. Mr. Hansen spoke about the adjustments in parking due to the change in programming for the building. Removing some of the parking spaces allowed for increased landscaping. ADA parking and the trash closure were revisited. It was stated that full screen buffers were planned for the northern border of the property.

Bainbridge Island Fire Department Station 21 (PLN11791SPR/CUP)

Mr. Bouma gave the overview of the plant palate for Station 21 stating there were more evergreens in this palate to provide structure and year round color. He also stated that because of visibility from the road, as well as the big, long apparatus bay, the landscaping would be a little less natural until further out toward the edge of the property. The grouping of trees placed strategically against the large southern wall of the apparatus bays was described. Mr. McNett asked how big the trees would be when they were planted. Placement of trees, benches and perhaps a covered bench at the entrance were discussed. Mr. Gutsche asked what percentage of stormwater was being managed on the site. The answer was 100% was being handled through rain gardens. Mr. Hansen then presented the promised updates.

Charles Schmid, Citizen – Asked whether trees within the buffer along Highway 305 would be removed. Mr. Bouma stated none of them would be removed.

Mr. Grainger asked if there had been any thought to connecting the public transportation drop-off point on Highway 305 to the sidewalk on Madison. Mr. Hansen stated a walk lane would be provided by the fog lane.

Motion: I move that the Fire Stations 21 and 22 have met the contingencies to their approval.

Gutsche/McNett: Unanimously approved.

New/Old Business

There was extensive discussion about how to really save trees on properties being developed and how to prevent clear cutting. Tree and building clusters and the efficacy of clustering were questioned. Mr. Grainger wondered why new subdivision developments did not have to come to the DRB. Mr. Peltier asked the DRB if they felt they had the time to take on expanded duties.



**Design Review Board
Regularly Scheduled Meeting Minutes
Monday, March 7, 2016**

He also asked them to look at the Land Use Element of the Comprehensive Plan and felt that might be a good place to expand the purview of the DRB. The DRB felt it would be helpful to have a work session with the new Planning Director when he arrives. Mr. Peltier thanked the DRB for their work and said he found their work interesting.

Adjourn

The meeting was adjourned at 4:56 PM.

Approved by:


Alan Grainger


Jane Rasely

Bainbridge Island Fire Department

Memo

January 30, 2016

TO: Josh Machen, Planning Department

FR: Assistant Chief Luke Carpenter, Fire Marshal

RE: BIFD Station 21

PLN11791B CUP

The submittal has been reviewed resulting in the following comments:

1. Proposed fire station must be equipped with fire sprinklers and fire alarms as per the adopted Code.
2. The project shall comply with the requirements of the adopted Fire Code and any applicable NFPA standards or other requirements as stipulated by the Fire Marshal.

ATTACHMENT X

APR 29
~~JAN 15~~ 2016

Planning and
Community Development

Bainbridge Island Fire Department
Station 21 and 22
April 15, 2016
Provided by Fischer Bouma Partnership

SPR Landscape Plan Supplemental Information

This document is intended to supplement the Landscape drawings for Site Plan Review.

TREE & VEGETATION PROTECTION STRATEGIES

Trees to be retained as shown on Tree Retention Plan will be protected as required using methods as described in BIMC 18.15.010 (below copied out of current code). These methods are also provided in the project details on Civil drawing sheet Nos. C2.0 and C5.1 and Specification Section 31 10 00.

4. Protection during Construction and Development.

a. Intent. The intent of these regulations is to provide the best protection for significant trees and tree stands, including protection for trees on adjacent properties.

b. Requirements.

i. No cutting of significant trees shall be allowed on a site until the tree retention and planting plans have been approved by the director.

ii. In order to preserve future ecological function, the applicant shall identify areas of prohibited disturbance, generally corresponding to the dripline or critical root zone (as identified by a consulting arborist) of the significant trees and/or tree canopy of tree stands to be retained, buffers, areas of existing vegetation to be maintained, future rain gardens, and future planting areas larger than 400 square feet (i.e. landscape islands in parking lots). The prohibited disturbance areas shall be reviewed and approved by the director as part of the land use permit review process.

iii. A temporary five-foot-high chain link fence with tubular steel poles or "T" posts shall delineate the area of prohibited disturbance defined in subsection C.4.b.ii of this section, unless the director has approved the use of a four-foot-high plastic net fence as an



alternative. The fence shall be erected before construction starts and shall remain in place until construction has been completed, and shall at all times have affixed to it a sign indicating the protected area.

iv. No impervious surfaces, fill, excavation, vehicle operations, compaction, removal of native soil or storage of construction materials shall be permitted within the area defined by the required construction fencing. If avoiding construction and compaction in future planting areas is unavoidable, the landscape plan for the project shall include methods for aerating and/or augmenting compacted soil to prepare for new planting, pursuant to subsection H.2 of this section.

v. A rock well shall be constructed if the grade level around the tree is to be raised more than one foot. The inside diameter of the well shall be equal to the diameter of the dripline or critical root zone (as identified by a consulting arborist) of the tree or tree canopy of tree stands.

vi. The grade level shall not be lowered within the larger of (A) the dripline or critical root zone (as identified by a consulting arborist) of the tree, or the tree canopy of tree stands, or (B) the area recommended by a consulting arborist.

vii. Alternative protection methods may be used if recommended by a consulting arborist and determined by the director to provide equal or greater tree protection.

viii. Wherever this subsection C.4 allows or requires the involvement of a consulting arborist, that individual shall be selected from the city's list of current arborists certified by the American Society of Consulting Arborists and his or her services shall be paid for by the applicant.

VEGETATION CLEARING STRATEGIES

Clearing of vegetation is controlled by Specification Section 31 10 00 Site Clearing being provided by the Civil Engineer.

Vegetation will be cleared by typical mechanical means in areas proposed for development. The contractor will be required to protect and preserve trees and vegetation which are outside the clearing limits or



indicated to be protected as indicated on the plans. Trees, underbrush, and all vegetation indicated to be cleared will be done in a manner to protect adjacent property and items on-site to remain.

TOPSOIL PROTECTION & RE-USE STRATEGIES

Topsoil protection and re-use are controlled by Specification Sections 31 10 00 Site Clearing being provided by the Civil Engineer and Specification Section 32 29 00 Landscape Planting provided by the landscape architect, respectively.

Topsoil to remain in place will be protected through vegetation protection strategies and temporary erosion control measures implemented during construction. Native topsoil in areas to be developed will be removed to its full depth and stockpiled on site. All stockpiled topsoil will be covered. Stockpiles will be constructed in accordance with FWRC and WAC requirements. Side slopes will be appropriate for the material to prevent sloughing, erosion, or instability. Stockpiled soil should be screened so that it is free of clay clumps, rubble, cobbles, rubble or any other material that may limit plant growth. One hundred percent of the planting soil should pass through a $\frac{3}{4}$ " sieve. See the following section for re-use strategies of amended (if necessary) native topsoil that has been stockpiled.

NATIVE SOIL AMMENDMENT STRATEGIES

Native soil amendment strategy is controlled by Specification Section 32 29 00 Landscape Planting.

Native soil in areas to be developed will be stripped and stockpiled per the section above. On-site soils fall in two categories: 1) those stripped and stockpiled and 2) those that were undisturbed (where final grades match existing grades) and that will have enhancement plantings added to them. Both stockpiled and undisturbed native topsoil will then be tested to determine the necessary amendments. Based upon the test results, state recommendations for soil treatments and soil amendments are to be incorporated to produce satisfactory planting soils suitable for health, viable plants. Organic content for the soil shall also be tested and the soil amended so that it is 3-8% by weight per LOI.

Prior to placing a given depth of amended topsoil, the subgrade will be disturbed/loosened to a determined depth by scarification, discing, or ripping to enable a rototiller to fully incorporate a compost amendment. The amended topsoil will then be placed on the prepared subgrade to a depth determined by analysis of the existing soils on site. Due to the typical mineral composition of the glacial till soils in this region, excavated areas to be planted with trees will typically require a 12" to 18" depth of amended topsoil placed. Areas of shrub, groundcover, and turf planting will require less of a depth of amended topsoil placement.

PLANTING TIMES

Planting time is controlled by Specification Section 32 29 00 Landscape Planting.

Planting should be performed between September 1 and May 31. Planting should not occur outside of this window or when the temperature is below 32 degrees F or above 80 degrees F. Planting should not occur when the soil is completely saturated or when the wind velocity is greater than 25 mph.



IRRIGATION

Irrigation is controlled by Specification Section 32 81 00 Landscape Irrigation. New landscape will be irrigated temporarily for establishment or permanently depending on location and typology.



Katy Bigelow
206.351.1375
arboristkaty@gmail.com

April 19, 2016

ATTN: Jeff Bouma
Fischer Bouma Partnership
310 Madison Avenue South, Suite A
Bainbridge Island, WA 98110

Chief Luke Carpenter at:
Bainbridge Island Fire Department
8895 Madison Ave.
Bainbridge Island, WA 98110

Dear Mr. Bouma and Mr. Carpenter:

Thank you for having me evaluate trees at the redeveloping Fire Station 21 on Bainbridge Island. To evaluate the trees addressed in this memo I combined my field experience and education with current accepted practices as defined by the American National Standards Institute (ANSI) and the International Society of Arboriculture (ISA).

The tools I use to make an assessment are limited to a rubber mallet, binoculars, compass, laser pointer, hand brush, shovel and hand trowel unless otherwise noted. A visual tree assessment and other methods are only conclusive for the day of inspection and do not guarantee that conditions will remain the same in the future.

I was asked by Mr. Bouma and Mr. Carpenter to assess significant trees in and near the buffer areas of the proposed redevelopment of the Fire Station 21 property. I was specifically asked to determine the health of the trees, if they were reasonable candidates to retain during construction that would retain vigor after construction, and to determine their drip lines corresponding to where tree protection would need to be installed before the project began. I completed my assessment on April 13, 2016.

I evaluated 23 trees growing in the buffer areas on the west, north and south sides of the site (see Site Plans). These areas are populated with a variety of mainly ornamental shrubs and trees.

Five of the trees growing in the buffer were in poor condition and had poor structure OR grow too close to the project clearing boundary to reasonably be retained (58, 59, 237, 238 and 245). They should be removed. The remaining trees are in fair or good condition and can be retained with tree protection installed to the drip lines or as otherwise specified. Refer to the Supporting Data for specific information on each tree.

ATTACHMENT Z

Tree assessment memo -- Bouma Fischer
Bainbridge Fire Station 21, Madison Ave. BI
4/19/16

Several trees were growing on the boundary to the buffer zone (Trees 47, 52, 56, 60 and 63). These trees are in fair condition but likely will lose up to 50% of their critical roots during grading processes. I recommend these trees are removed.

When possible, use tree protection fencing to surround trees close to each other instead of encircling individual trees. Buffer areas can be fenced off for tree protection at clearing boundaries. I strongly recommend installing tree protection fencing prior to the start of any clearing and grading activities.

Many of the "trees" slated for removal in the west boundary are actually Photinia shrubs. They can be retained as desired to maintain a screen. This species can tolerate root activity close to their trunks.

Thank you very much for calling me for your arboricultural concerns.

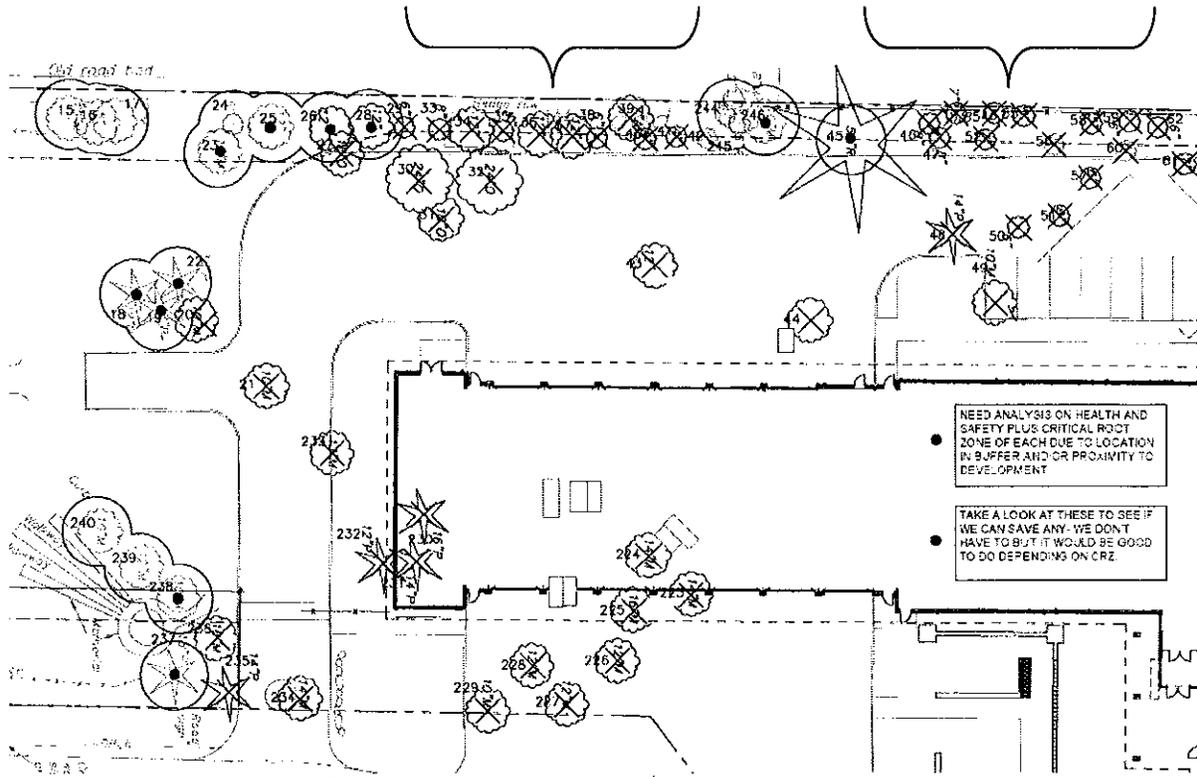


Katy Bigelow
PNW ISA member # PN-3069AT
PNW Certified Tree Risk Assessor # 199
Registered Consulting Arborist® #490

Site Plans

Most of these are Photinia shrubs.

Mainly Photinia.



Supporting Data

TREE #	SPECIES	DBH	DRIP LINE	CURRENT HEALTH RATING	COMMENTS/ RECOMMENDATIONS
237	Scotch pine/ <i>Pinus sylvestris</i>	21.0"	-	Fair	Previously topped, canopy is majorly asymmetrical, poor structure overall. Remove
238	Sycamore/ <i>Platanus occidentalis</i>	8.0"	-	Poor	Canopy is majorly asymmetrical, not a good candidate for retention after exposure. Remove
18	Pine species/ <i>Pinus species</i>	16.0"	To existing curb	Fair	Retain 18, 19 and 22 as a grove. Install tree protection encircling all three trees.
19	Pine species/ <i>Pinus species</i>	17.0"	To existing curb	Fair	Retain 18, 19 and 22 as a grove. Install tree protection encircling all three trees.
22	Pine species/ <i>Pinus species</i>	22.0"	To existing curb	Fair	Retain 18, 19 and 22 as a grove. Install tree protection encircling all three trees.
23	Oak species/ <i>Quercus species</i>	14.0"	*	Fair	* = to existing asphalt to E, N/S 7' W into buffer. Trunk forked at 7'
25	Photinia/ <i>Photinia × fraseri</i>	multi	To buffer edge	Fair	Considered a shrub. Can be retained and pruned down as desired without effect to its vigor.
26	Photinia/ <i>Photinia × fraseri</i>	multi	To buffer edge	Fair	Considered a shrub. Can be retained and pruned down as desired without effect to its vigor.
28	Photinia/ <i>Photinia × fraseri</i>	multi	To buffer edge	Fair	Considered a shrub. Can be retained and pruned down as desired without effect to its vigor.
246	Scouler's willow/ <i>Salix scouleriana</i>	multi	To buffer edge	Fair	Over 50 stems in clump. Most stems < 3" DBH. Remove stems within three feet of new curb. Most stems will have to be removed.
244	Scouler's willow/ <i>Salix scouleriana</i>	multi	To buffer edge	Fair	Over 50 stems in clump. Most stems < 3" DBH. Remove stems within three feet of new curb.
245	Apple species/ <i>Malus</i>	2.5"	-	Poor	Poor form. Remove.

	<i>species</i>				
45	<i>Sequoia/Sequoia sempervirens</i>	45.0"	at least 15' all directions	Good	Trunk forked. Would need at least 15' radius of non-disturbance from its base free from any hardscape to reasonably be retained.
46	Red maple/ <i>Acer rubrum</i>	8.0"	To buffer edge	Fair	Retain
47	Red maple/ <i>Acer rubrum</i>	7.0"	-	Fair	Too many critical roots will be disturbed for reasonable retention. Remove.
52	Red maple/ <i>Acer rubrum</i>	7.0"	-	Fair	Too many critical roots will be disturbed for reasonable retention. Remove.
56	Red maple/ <i>Acer rubrum</i>	5.0"	-	Fair	Too many critical roots will be disturbed for reasonable retention. Remove.
58	Scouler's willow/ <i>Salix scouleriana</i>	7.0"	-	Poor	Open wound in the low trunk with rot. Leans to the west. Remove.
59	Scouler's willow/ <i>Salix scouleriana</i>	8.0"	-	Poor	Leans towards project area. Poor structure. Remove.
60	Red maple/ <i>Acer rubrum</i>	7.0"	-	Fair	Too many critical roots will be disturbed for reasonable retention. Remove.
62	Red maple/ <i>Acer rubrum</i>	6.0"	To buffer edge	Fair	Retain
63	Red maple/ <i>Acer rubrum</i>	6.0"	-	Fair	Too many critical roots will be disturbed for reasonable retention. Remove.
76	Red alder/ <i>Alnus rubra</i>	30.0"	To existing curb	Fair	Open wound in the trunk at area trunks fork at 6'. Mature specimen of this species.
LEGEND					
Green font indicates trees standing on buffer line.					
Tree #: Tree number corresponding with surveyed map number					
Species: Common and Latin tree name					

Tree assessment memo – Bouma Fischer
 Bainbridge Fire Station 21, Madison Ave. BI
 4/19/16

DBH: Trunk diameter(s) at 4.5' above average ground level.		
Drip Line: A horizontal area equal to the maximum extent of branches and leaves in a certain direction. Distance from trunk at which to place tree protection fencing.		
Current Health Rating: A description of general health ranging from dead, dying, hazard, poor, suppressed, fair, good, very good, to excellent.		
Comments/Recommendations: Comments relative to the recommendations concerning the tree being a good candidate for retention.		

Assumptions, Limiting Conditions and General Waiver

I, Katy Bigelow, certify that:

I have personally inspected the tree(s) and or the property referred to in this report;

I have no current or prospective financial or other interest in the vegetation or the property which is the subject of this report and have no personal interest or bias in favor of or against any of the involved parties or their respective position(s), if any;

The analysis, opinions and conclusions stated herein are the product of my independent professional judgment and based on current scientific procedures and facts, and the foregoing report was prepared according to commercially reasonable and generally accepted arboricultural standards and practices for the Pacific Northwest and Puget Sound areas;

The information included in this report covers only those trees that were examined and reflects the condition of the trees as of the time and date of inspection;

This report and the opinions expressed herein are not intended, nor should they be construed, as any type of warranty or guarantee regarding the condition of the subject trees in the future;

Covenants, Conditions, and Restrictions (“CC&Rs”) may restrict the number, type and height of vegetation on the subject property, and I have made no investigation regarding whether the property is subject to such CC&Rs; and

To the best of my knowledge and belief, all statements and information in this report are true and correct and information provided by others is assumed to be true and correct.

I am not an attorney or engineer. This report does not cover these areas of expertise and represents advice only of arboricultural nature. Without limiting the generality of the preceding sentence, it is specifically understood that nothing contained in this report is intended as legal advice, or advice or opinions regarding soil stability or zoning laws, and this report should not be relied upon to take the place of such advice.



Katy Bigelow
PNW ISA member # PN-3069AT
PNW Certified Tree Risk Assessor # 199
Registered Consulting Arborist® #490

MACKENZIE.

DESIGN DRIVEN | CLIENT FOCUSED

October 17, 2016

City of Bainbridge Island
Attention: Janelle Hitch
280 Madison Avenue N.
Bainbridge Island, WA 98110

Re: **Bainbridge Island Fire Department - Station #21**
Parking Analysis Letter
Project Number 2150124.00

Dear Ms. Hitch:

Mackenzie has prepared this letter to satisfy City of Bainbridge parking requirements for the subject fire station application.

The 28,350-square-foot fire station is proposed at 8895 Madison Avenue N in Bainbridge Island, Washington. The proposed fire station will replace an existing 14,230-square-foot fire station at the same site. The existing fire station has 75 striped parking spaces which have been observed to be underutilized.

The proposed fire station's site plan proposes 43 striped parking spaces. A majority of these spaces are proposed to serve a 1,674-square-foot community room within the fire station. The City's Development Code, Table 18.15.020-1, requires a minimum of 10 parking spaces per 1,000 square feet of assembly area. Based on this requirement, the fire station's community room will require a minimum of 17 parking spaces.

Table 18.15.020-1 of the City's Development Code does not include a specific minimum parking requirement for fire stations, but rather requires an adequate number of parking spaces to accommodate peak shift employees for governmental facilities. A trip generation letter, dated January 18, 2016, and revised August 24, 2016, reported that the number of employees would remain unchanged for the proposed new fire station. The existing fire station has six (6) dayshift employees and five (5) shift employees, assuming a shift rotation every 48 hours. As a worst-case scenario, it is assumed that all employee parking will need to be accommodated during shift changes, resulting in a peak demand of 11 parking spaces on-site. Emergency vehicles will not require passenger vehicle parking spaces since those vehicles will be stored in the apparatus bays.

In summary, the community room is required to have a minimum of 17 parking spaces and the fire station is anticipated to have an 11-space parking demand during peak times, for a total minimum parking requirement of 28 spaces. It is anticipated the proposed 43 striped parking spaces will far exceed the minimum 28-parking space requirement, allowing for additional parking for visitors, deliveries, and others, as needed.

Please let us know if you have any questions or comments regarding the information in this letter.

Sincerely,



Brent Ahrend

Senior Associate | Traffic Engineer

Enclosure(s): Site Plan

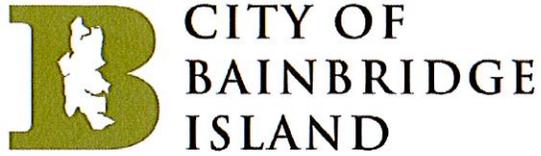
c: Michael Chen, Brett Hanson, Janet Jones - Mackenzie

M. P 503.224.9560 • F 503.228.1285 • W MCKNZE.COM
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Portland, Oregon • Vancouver, Washington • Seattle, Washington

1100 Portland, OR 97214

LANDSCAPE ARCHITECTURE

ATTACHMENT A A



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

STAFF REPORT

Date: October 19, 2016
To: City of Bainbridge Island Planning Commission
From: Joshua Machen, AICP
Planning Manager
Project: Bainbridge Island Fire Department Station 22
Site Plan and Design Review/ Conditional Use Permit
File Number: PLN50231 SPR/CUP

I. INTRODUCTION

Applicant: Mackenzie
C/O Michael Chen
500 Union Street, Suite 545
Seattle, WA 98101

Owner: Bainbridge Island Fire Department

Request: The proposed project is the redevelopment of the existing fire station on the site, Station #22. The redeveloped fire station will have a gross floor area of approximately 16,808 square feet with 30 parking spaces (Attachments B & C).

Location: 7934 Bucklin Hill Road NE, being portions of Sect. 28, T. 25N. R. 02E. W.M. Tax parcel numbers 4178-000-012-2004

Environmental Review: A SEPA Threshold Determination was issued on October 11, 2016

Recommendation:

Approve the application with the following conditions:

SEPA Conditions

1. All graded materials removed from the subject property shall be hauled to and deposited at City approved locations (Note: local regulations require that a grade/fill permit is obtained for any grading or filling of 50 cubic yards of material or more if the grading or filling occurs on sites that have not been previously approved for such activities. A SEPA Threshold Determination is required

for any fill over 100 cubic yards on sites that have not been previously received a SEPA determination).

2. Contractor is required to stop work and immediately notify the Department of Planning and Community Development and the Washington State Office of Archaeology and Historic Preservation if any historical or archaeological artifacts are uncovered during excavation or construction.
3. To mitigate the possible impact on adjacent properties from light and glare, all exterior lighting shall be hooded and shielded so that the bulb is not visible from adjacent properties. All landscape lighting shall be downcast and lighting within surface parking lots shall be no higher than 14 feet above grade. All exterior lighting shall comply with BIMC Chapter 15.34.
4. Prior to any clearing or grading on the site, chain-link construction fencing shall be installed and inspected by the City at the edge of the tree's dripline for trees being preserved as part of the development.
5. All construction activities shall comply with the construction operating hours limitations contained in BIMC Chapter 16.16. Noise produced by this development must comply with the maximum environmental noise levels established by the Washington Administrative Code 173-60 or its successor.
6. All on-site stormwater facilities shall remain privately owned and maintained. The owner shall be responsible for maintenance of the storm drainage facilities for this development following construction. Annual inspection and maintenance reports shall be provided to the City. A declaration of Covenant for stormwater system operation and maintenance will be required to be recorded before issuance of occupancy permits. The approved language for the Declaration of Covenant is found in BIMC 15.21.

Project Conditions:

7. The site shall be developed in substantial conformance with the revised site plans date stamped April 29, 2016 and building elevations date stamped received October 18, 2016, except to conform to these conditions.
8. The applicant shall obtain an approved building and/or grading permit from the Department of Planning and Community Development, prior to any construction activities on the site.
9. Sign permits shall be obtained as required by BIMC Section 15.08.
10. Parking shall be improved in substantial conformance with the approved site plan. The parking area shall be paved, all stalls shall be striped to their full dimensions and appropriate signage shall be placed at each handicap stall(s). Each parking stall shall meet the dimensional standards of BIMC Table 18.15.020-3 outside of required driving aisles or minimum sidewalk width of five feet.
11. The primary walkways throughout the development shall meet accessibility requirements including being surfaced with nonskid hard surfaces and providing a minimum of five feet of unobstructed width.

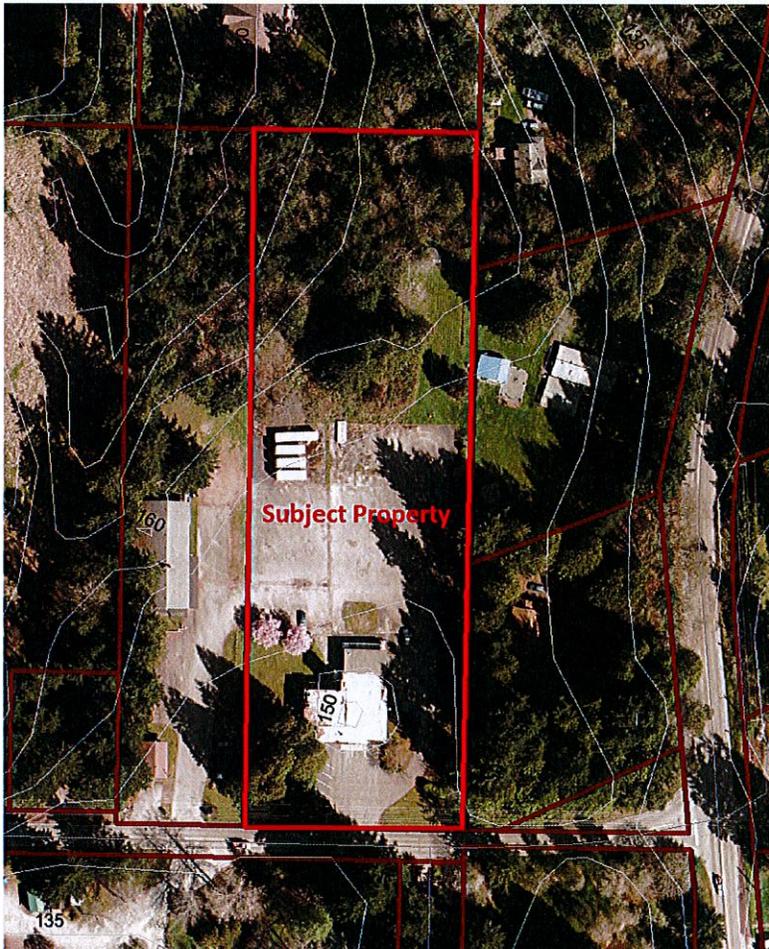
12. A minimum of 4 bicycle spaces shall be installed prior to final inspection. The rack shall allow for the wheel and frame of the bicycle to be locked. The bicycle stalls shall provide for both visitors and employees of the station.
13. The location of generator pad on the east side of the property shall be relocated outside of the minimum 15-foot perimeter buffer. Prior to building permit issuance revised drawings depicting this change shall be submitted and approved.
14. All landscaping shall be installed as provided in the approved landscaping plans or a performance assurance device shall be submitted and approved, prior to final inspection of the station. The installation of landscaping shall be verified by a Landscape Professional and a landscaping declaration shall be signed by either the certified landscape professional or owner.
15. Prior to occupancy of the station or the release of a landscaping performance assurance, a landscaping maintenance assurance device for the required landscaping shall be provided to COBI for a period of three years. All landscaping and buffers shall be maintained for the life of the project.
16. An International Society of Arboriculture (ISA) valuation for all trees, where the critical root zone of a tree required to be retained may be impacted by clearing, grading construction, development, or maintenance, shall be submitted to issuance of the building permit for the station.
17. In order to define the circulation system and pedestrian separation, raised curbs shall be used to separate landscaping and raised walkways from parking stalls and drive aisles.
18. Exterior trash receptacles/recycling facilities shall be fully screened with solid walls and gates (no chain-link fencing). The screening enclosures shall be architecturally consistent with the adjacent station. All enclosures shall be constructed and inspected prior to final inspection.
19. At the time of building permit submittal, detailed lighting plans demonstrating compliance with the lighting standards shall be submitted for review and approval by the COBI.
20. All mechanical equipment shall either be located underground, incorporated into landscaping or integrated within the building or roof form of the building. Parapet walls may be used to screen roof top mechanical equipment as long as equipment is completely obscured from view and the parapet does not substantially detract from the building architecture.
21. Proposed fire station must be equipped with fire sprinklers and fire alarms as per the adopted code.
22. The COBI Non-Motorized 6-year Capital Improvement Plan includes the C40-Bucklin Phase 2 Project that extends along the frontage of the Bainbridge Island Fire Station 22. Frontage improvements along Bucklin Hill Road NE corresponding to the CIP C40 Bucklin Phase 2 Project must be completed or a fee-in-lieu must be provided to the City prior to Certificate of Occupancy and /or Final Inspection. Frontage improvements include pedestrian sidewalk and bike lane.

Staff Analysis

II. FINDINGS OF FACT

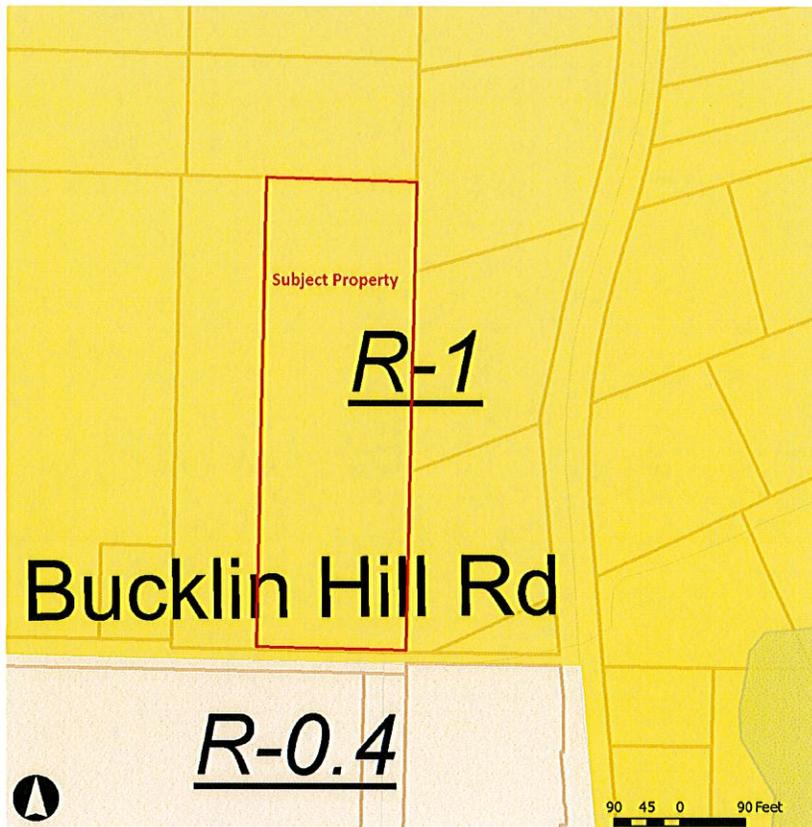
A. Site Characteristics

1. ASSESSOR'S RECORD INFORMATION:
4178-000-012-2004, Bainbridge Island Fire District, 3.05 Acres
2. TERRAIN:
The property relatively flat with a gentle slope up in the northern portion of the property. The property has just a few trees adjacent to the existing fire station and native trees and shrub forest in the north 100-150 feet of the property. (Attachments B & E)



3. SITE DEVELOPMENT/EXISTING USE:
The site contains an existing fire station and related improvements, including parking and septic system.

4. ACCESS:
Vehicular access to the site is from Bucklin Hill Road
5. PUBLIC SERVICES:
 - a. Police - Bainbridge Island Police Department
 - b. Fire - Bainbridge Island Fire District
6. EXISTING ZONING/ COMPREHENSIVE PLAN DESIGNATION:
R-1, 1 unit per acre residential zone
OSR-1, Open Space Residential, one unit per acre



7. SURROUNDING ZONING/COMPRHENSIVE PLAN DESIGNATION:
 - a. North: R-1
 - b. East: R-1
 - c. South: R-0.4
 - d. West: R-1
8. SURROUNDING USES:
 - a. North: Single-family Residential Development
 - b. East: American Legion Hall
 - c. South: Hyla, a Private School
 - d. West: Single-family Residential Development

B. History

1. A pre-application conference was held December 1, 2015
2. The Design Review Board reviewed the pre-application proposal on December 21, 2015 and made several recommendations on the design (Attachment U).
3. A public participation meeting was held at the City on January 11, 2016. Comments and responses from that meeting are included as Attachment A.
4. A formal application for the Site Plan and Design Review and Conditional Use Permit were submitted on January 15, 2016.
5. On February 22, 2016, the application was taken back to the Design Review Board, the board reviewed the revised drawings and recommended approval of the application (Attachment V).
6. Revisions to the application and submission documents were submitted on March 4, 2016.
7. A notice of technically complete application was issued on March 9, 2016, but requested additional information to be provided prior to the complete processing of the applications.
8. A Notice of Application/SEPA comment period was published and mailed out March 11, 2016.
9. Revisions to the application were received on April 29, 2016
10. On May 27th a memo from the City's Development engineer indicated the application was still deficient proper documentation regarding stormwater.
11. On June 7, 2016 a Preliminary Technical Information Report (drainage report) was submitted to the City.
12. On June 22, 2016 the Development Engineer provided a memo indicating that the revisions received from the applicant in April and the drainage report received in June were still deficient and that additional information and revisions were required.
13. On September 23, 2016 revised stormwater drainage plans were received.
14. The City Development Engineer reviewed the project and provided final comments and recommended conditions on October 13 (Attachment T).

C. Public Comment

No public comment was received during the official public comment period.

D. Comprehensive Plan Analysis

OS 4.1 The R-1 District is intended to recognize an existing development pattern of one unit per acre. The subject development is proposed within the residential one-acre zone. The Fire station is an essential public facility and is replacing an existing fire station. The changes to the station are being properly reviewed through the Site Plan and Design Review process as well as the Conditional Use Permit process to ensure compliance with the code requirements as well as compatibility with neighboring development

SD 1.3 The City shall require new development to provide both on-site improvements and off-site improvements necessary to avoid adverse downstream water quality and quantity impacts. **The applicant has submitted an engineered comprehensive stormwater drainage plan that addresses downstream water quality and quantity impacts. The submitted plans were reviewed by and found to meet local and state regulations (Attachments T).**

SD 1.4 Where appropriate and feasible, infiltration of stormwater is preferred over surface discharge to downstream systems. The return of uncontaminated precipitation to the soil at natural rates near where it falls should be encouraged through the use of detention ponds, grassy swales and infiltration facilities. **The stormwater drainage plan submitted with the application includes several of these features, including but not limited to raingardens, and infiltration/dispersal systems that will allow water to return to the soil.**

E. Land Use Code Analysis

1. **BIMC Chapter 16.16 Noise Regulations**

The proposal is subject to noise regulations related to the construction hours and maximum environmental noise levels from the proposed uses on the property. Since the construction for this proposal will occur within 100 feet of residentially zoned properties, construction activities are limited to certain hours and days of the week in accordance with BIMC 16.16.025. The maximum allowed environmental noise levels are those allowed by state law.

2. **BIMC Chapter 18.06.0020C**

The purpose of the R-1 zone is to provide residential neighborhoods in an environment with special island character consistent with other land uses such as agriculture and forestry, and the preservation of natural systems and open space. **The proposed reconstructed fire station is consistent with the purpose of this district as it is an essential public facility that directly serves the residential neighborhoods of the island in addition to the commercial zones. The subject property is well suited for a fire station as it only has residential uses on two sides and the closest neighbor, which is to the east of the station has maintained a 40 buffer of existing trees and vegetation between their house and the fire station. The fire station will be providing a 15-foot full screen buffer along their neighboring property line.**

3. **BIMC Chapter 18.09.020 Permitted Use Table**

The permitted use table lists the multiple uses that are that are permitted and conditionally permitted within the R-1 zone. Included in those allowed by a conditional use permit are governmental facilities.

4. **BIMC Chapter 18.12 Dimensional Standards**

The proposed development is within the R-1 zone, therefore the maximum lot coverage for is 15 percent. **The proposed lot coverage for this development is approximately 10.7 percent overall (approximately 14,314 square feet of building footprint).**

The setback from the Bucklin Hill Road right-of-way is a minimum of 25 feet in order to provide the required landscape buffer and front yard setback. **The proposed building is setback approximately 95 feet from Bucklin Hill Road. The required side setbacks are 5' minimum, however the perimeter buffers are larger. The north and east property line has a minimum buffer or 15 feet with an average of 25 and the buffer along the west property line the buffer is a minimum of 10 feet with an average of 20-feet.**

The building height limitations for the R-1 zone is 30 feet to the mid-point of the highest gable. **The tallest portion of the proposed building has a height of 24 feet.**

5. **BIMC Chapter 18.15 Development Standards and Guidelines**

a. **18.15.010 Landscaping and Screening**

Since the proposal is located within the R-1 zone, the project has a required 25-foot average perimeter full-screen landscape buffer along the single-family use to the north east and a 20-foot average perimeter full-screen landscape buffer to the American Legion property to the west. The development is also required to provide a 25-foot partial screen buffer to the Bucklin Hill Road right-of-way. **The proposed development is providing the full 25 foot full-screen landscape buffer to the residential property along the north property line and is providing an averaged 25-foot full landscape buffer along the east property line. The proposal also includes a 20-foot averaged buffer along the west property line to accommodate fire apparatus access driveway. The proposal will also provide a landscape buffer along Bucklin Hill Road with the exception of the entrance driveway.**

The parking lot landscaping requirement for the proposed development entails providing one tree for every two parking stalls for the parking lot located in front of the building and one tree for every 4 for the parking lots located to the side or rear of the building. **The project has a 6 parking stalls out front and 13 stalls behind; therefore 7 parking lot related trees will need to be planted. The applicant has proposed planting close to 8 new trees around the parking lot and building outside of the required buffers, which is in excess of the minimum required for the parking lot landscaping, the required buffers and the tree unit requirements. Also as required the landscaping plan properly designates landscape areas at the end of the parking stalls and aisles (Attachment P & Q).**

The total site tree requirements for non-residential development within the R-1 zone is 40 tree units per acre. Each existing tree that is being preserved is given a tree unit value based on its size, then all proposed trees to be planted are also given a tree unit value. The property is 2.18 acres outside the required buffers; therefore, a total of 87.2 tree units would typically be required outside of the significant trees being preserved within required perimeter buffers or the roadside buffers. **The proposal is retaining 193.2 tree units (note: only 87.2 units are required retention tree units) and is proposing to plant 100 trees. While some of the replanted trees are required for the buffers and the parking lot tree planting requirements, the proposed retained trees in addition to the planted trees exceed the minimum tree unit requirements. As conditioned, all landscaping and buffers need to be maintained throughout the life of the project and the proposed landscaping must be installed or an assurance device provided prior to any occupancy of the buildings (Condition 15).**

Retained trees within buffers and those needed to be retained to meet the tree unit requirements require protection during construction. **The applicant has proposed tree protection strategies in compliance with the municipal code requirements including but not limited to construction fencing, dripline protection, soil amendment, and root pruning (Attachment Y). In addition, the City required and the applicant provided a Certified Arborist analysis of any tree proposed to be retained whose dripline/critical root zone would be affected by the construction. Her review, analysis and recommendations are included in Attachment Z.**

b. **18.15.020 Parking and Loading**

The proposed building is proposed as a fire station facility; therefore, the parking regulations require enough spaces to meet the peak demand as verified by the Director. **As proposed, there are 19 parking spaces proposed, which meets the peak parking demand forecasted by the Bainbridge Island Fire Department, 8 spaces. While the Director recognizes the benefit of additional spaces, only the Planning Commission may approve parking spaces above the required spaces, which is the peak demand in this special case (Attachment AA).**

While recommended by this section of code the locations of the parking in front of the building is discouraged, the parking spaces in front of the building will be primarily for the public while the parking to the side and rear will be primarily reserved for fire fighters. As conditioned, each parking stall is to meet the dimensional standards of Table 18.15.020-3 outside of required driving aisles or minimum sidewalk widths (Conditions 10).

c. **18.15.030 Mobility and access**

In order to define the circulation system and pedestrian separation, raised curbs shall be used to separate landscaping and raised walkways from parking stalls and drive aisles (Condition 17). In accordance with the regulations regarding mobility and access, all internal walkways shall be surfaced with nonskid hard surfaces and provide at least five feet of unobstructed width (Condition 11).

One bicycle space is required for every five parking spaces, therefore, four bicycle spaces are required for the proposed station. The site plan properly designates 4 available spaces that will serve both employees and the public (Condition 12).

d. **18.15.040 Outdoor Lighting**

In order to preserve and enhance the view of the dark sky and promote health, safety and security, outdoor lighting is to be shielded and maintained so there is no light trespass. All lighting shall be downcast and shielded such that it masks the horizontal surface of the light source. At the time of building permit submittal, detailed lighting plans demonstrating compliance with the lighting standards shall be submitted for review and approval by the City (Condition 3).

6. **BIMC Chapter 18.18 Design Guidelines**

The proposed project is subject to; the commercial and mixed-use design guidelines for all zoning districts. The application was first reviewed by the Design Review Board on December 21, 2015 during the pre-application conference phase of review. The Design Review Board made several suggestions during that meeting and the applicant responded by making several modifications to the design including but not limited to addressing the proposed entrance and front façade of the building (Attachment U).

The Design Review Board (DRB) again reviewed the proposal after the applicant had submitted the formal Site Plan and Design Review Application on February 22, 2016. The Board reviewed the design line checklist and found the design compliant with the guidelines but wanted to see the landscaping plans at the meeting on March 7, 2016. (Attachment V). At the March 7, 2016 meeting the landscape architect for the project presented the

landscape plan and the DRB finalized their recommendation for approval of the station as designed (Attachment W).

7. BIMC Chapter 2.16.040 Site Plans and Design Review

The Bainbridge Island Fire Station 22 was properly submitted as a major site plan and design review application along with a major conditional use permit. Since this is a major conditional use permit and site plan and design review application, the applicant first applied for a pre-application conference and had the preliminary plans reviewed by the Design Review Board. The applicants met with the Design Review Board once during the pre-application phase of the project, on December 21, 2015. The application was also required to have a Public Participation Meeting, which was held January 11, 2016. The DRB reviewed the application again as part of their formal submittal on February 22, 2016 (Attachment V) As a Major Site Plan and Design Review, the application is properly before the Planning Commission for review in a public meeting. The Planning Commission is to provide a recommendation to the Hearing Examiner, who will issue a decision on the consolidated project. The staff recommends the Planning Commission recommend approval of the application with the conditions listed in this project report.

Decision Criteria

The Director and Planning Commission shall base their respective recommendations or decision on site plan and design review applications on the following criteria:

- a. The site plan and design is in conformance with applicable code provisions and development standards of the applicable zoning district; **As summarized in this staff report and in the materials prepared by the applicant, the application, with conditions, is in conformance with the Bainbridge Island Municipal Code.**
- b. The locations of the buildings and structures, open spaces, landscaping, pedestrian, bicycle and vehicular circulation systems are adequate, safe, efficient and in conformance with the non-motorized transportation plan; **The proposed site plan provides a building layout, parking and circulation system that are an efficient use of the available land while providing the required setbacks and screening from the adjacent properties and open spaces.**
- c. The Kitsap County Health District has determined that the site plan and design meets the following decision criteria:
- e. The proposal conforms to current standards regarding domestic water supply and sewage disposal; or if the proposal is not to be served by public sewers, then the lot has sufficient area and soil, topographic and drainage characteristics to permit an on-site sewage disposal system. **The Health District reviewed the project and had no comment.**
 - i. If the Health District recommends approval the application with respect to those items in subsection i., the health district shall so advise the director. **No comment.**
 - ii. If the health district recommends disapproval of the application, it shall provide a written explanation to the director. **The Health District has not denied the application.**
- d. The city engineer has determined that the site plan and design meets the following decision criteria:

- i. The site plan and design conforms to regulations concerning drainage in Chapters 15.20 and 15.21 BIMC; and
- ii. The site plan and design will not cause an undue burden on the drainage basin or water quality and will not unreasonably interfere with the use and enjoyment of properties downstream; and
- iii. The streets and pedestrian ways as proposed align with and are otherwise coordinated with streets serving adjacent properties; and
- iv. The streets and pedestrian ways as proposed are adequate to accommodate anticipated traffic; and
- v. If the site will rely on public water or sewer services, there is capacity in the water or sewer system (as applicable) to serve the site, and the applicable service(s) can be made available at the site; and
- vi. The site plan and design conforms to the "City of Bainbridge Island Engineering Design and Development Standards Manual," unless the city engineer has approved a variation to the road standards in that document based on his or her determination that the variation meets the purposes of BIMC Title 18.

The Development Engineer has reviewed the submitted civil plans and has found them to be consistent with these requirements. A detailed response and analysis is contained in her memo (Attachment T).

- e. The site plan and design is consistent with all applicable design guidelines in BIMC Title 18, unless strict adherence to a guideline has been modified as a housing design demonstration project pursuant to BIMC 2.16.020.Q; **The proposed development was reviewed by the Design Review Board during the pre-application stage of the development and during the Site Plan and Design Review process (Attachments U,V & W). The applicant has incorporated the applicable Design Review Board's recommendations into the final design of the buildings and layout of the site. As now proposed, the design of the building form, wall articulation, roof form, landscaping and overall layout is consistent with the intent of the applicable design guidelines.**
- f. No harmful or unhealthful conditions are likely to result from the proposed site plan; **The proposed development is for a use conditionally allowed by the Municipal Code within the R-1 zoning district.**
- g. The site plan and design is in conformance with the Comprehensive Plan and other applicable adopted community plans; **The proposed plan provides for the replacement of an essential public facility.**

- h. Any property subject to site plan and design review that contains a critical area or buffer, as defined in Chapter 16.20 BIMC, conforms to all requirements of that chapter; **No critical areas are identified on the subject property.**
- i. Any property subject to site plan and design review that is within shoreline jurisdiction, as defined in Chapter 16.12 BIMC, conforms to all requirements of that chapter; **The subject property is not within the shoreline jurisdiction.**
- j. If the applicant is providing privately owned open space and is requesting credit against dedications for park and recreation facilities required by BIMC 17.20.020.C, the requirements of BIMC 17.20.020.D have been met; **The requirements of BIMC 17.20.020 are not applicable to this application because the proposal contains no new dwelling units.**
- k. The site plan and design has been prepared consistent with the purpose of the site design review process and open space goals; **The proposed site plan was prepared consistent with the overall purpose and goals of the Site Plan and Design Review process. The process has provided a means for guiding the development in a logical, safe, attractive and expedient manner.**
- l. For applications in the B/I zoning district, the site plan and development proposal include means to integrate and re-use on-site storm water as site amenities. **The subject property is not located within the B/I zoning district.**

8. BIMC Chapter 2.16.110 Major Conditional Use Permit

The applicants have also properly applied for a major Conditional Use Permit to allow a fire station within the residential R-1 zoning district. Fire Stations are considered government facilities; therefore, they are required to be reviewed under the major Conditional Use Permit process. Since this Conditional Use Permit is part of a consolidated project review with the Site Plan and Design Review application, it was also subject to a pre-application conference, public participation meeting and Design Review Board recommendation. The role of the Planning Commission is to make a recommendation to the Hearing Examiner.

Decision Criteria

A conditional use may be approved or approved with conditions if:

The conditional use is harmonious and compatible in design, character and appearance with the intended character and quality of development in the vicinity of the subject property and with the physical characteristics of the subject property; provided, that in the case of a housing design demonstration project any differences in design, character or appearance that are in furtherance of the purpose and decision criteria of BIMC 2.16.020.Q. shall not result in denial of a Conditional Use Permit for the project; **The proposed development is for the renovation/redevelopment of an existing fire station, which is an essential public facility. While a couple of the surrounding uses are single-family residences, the**

fire station has been in existence and operation for many years. No public comment or concerns were raised during the public comment period. The other adjacent developments are the American Legion Hall and a private school across Bucklin Hill Road.

- a. The conditional use will be served by adequate public facilities including roads, water, fire protection, sewage disposal facilities and storm drainage facilities; **As discussed in this staff report, with conditions, the proposed conditional use is adequately served by public roads, water, sewer, fire protection and proper storm drainage facilities will be constructed.**
- b. The conditional use will not be materially detrimental to uses or property in the vicinity of the subject property; **Allowing the reconstruction/expansion of the fire station will not be materially detrimental to uses in the vicinity. The use will continue with little change from the way it has operated for many years. Proper access, parking, circulation, landscaping are being provided.**
- c. The conditional use is in accord with the Comprehensive Plan and other applicable adopted community plans, including the Non-Motorized Transportation Plan; **As discussed in Section II. C of this report, the proposed conditional use is consistent with the goals and policies of the Comprehensive Plan.**
- d. The conditional use complies with all other provisions of the BIMC, unless a provision has been modified as a housing design demonstration project pursuant to BIMC 2.16.020.Q; **As detailed in this staff report, the conditional use complies, as does the building covered by the Site Plan Review, with all provisions of the BIMC.**
- e. All necessary measures have been taken to eliminate or reduce to the greatest extent possible the impacts that the proposed use may have on the immediate vicinity of the subject property;
- f. Noise levels shall be in compliance with BIMC [16.16.020](#) and 16.16.040.A; **While the project is required by law to be in compliance with BIMC 16.16.020, under emergency situations, it is likely that the noise standards will be exceeded by ambulances or fire trucks leaving the facility.**
- g. The vehicular, pedestrian, and bicycle circulation meets all applicable city standards, unless the city engineer has modified the requirements of BIMC 18.15.020.B.4 and B.5, allows alternate driveway and parking area surfaces, and confirmed that those surfaces meet city requirements for handling surface water and pollutants in accordance with Chapters [15.20](#) and [15.21](#) BIMC; **The Site Plan Review application and the Conditional Use Permit application have been reviewed by the city's development engineer and as conditioned the vehicular, pedestrian, and bicycle circulation meets all applicable City standards and pollution controls. A detailed analysis prepared by the Development Engineer was provided to staff in memo (Attachment T). Pedestrian improvements are being required along Bucklin Hill Road, by the City requiring the sidewalk and bike lane improvements (Condition 22).**
- h. The city engineer has determined that the conditional use meets the following decision criteria:
 - i. The conditional use conforms to regulations concerning drainage in Chapters [15.20](#) and [15.21](#) BIMC; and
 - ii. The conditional use will not cause an undue burden on the drainage basin or water quality and will not unreasonably interfere with the use and enjoyment of properties downstream; and

- iii. The streets and pedestrian ways as proposed align with and are otherwise coordinated with streets serving adjacent properties; and
- iv. The streets and pedestrian ways as proposed are adequate to accommodate anticipated traffic; and
- v. If the conditional use will rely on public water or sewer services, there is capacity in the water or sewer system (as applicable) to serve the conditional use, and the applicable service(s) can be made available at the site; and
- vi. The conditional use conforms to the "City of Bainbridge Island Engineering Design and Development Standards Manual," unless the city engineer has approved a variation to the road standards in that document based on his or her determination that the variation meets the purposes of BIMC Title [17](#).

The city's Development Engineer has reviewed the Conditional Use Permit and Site Plan and Design Review application for consistency with each of the above criteria and has found the design and specifications to be consistent and in compliance with the above criteria or has recommended proper conditions to address the concerns (Attachment T).

- i. If a major conditional use is processed as a housing design demonstration project pursuant to BIMC 2.16.020.Q, the above criteria will be considered in conjunction with the purpose, goals, policies, and decision criteria of BIMC 2.16.020.Q. **The proposal is not a housing design demonstration project.**
- j. Additional Decision Criteria for Institutions in Residential Zones. Applications to locate any of those uses categorized as educational facilities, governmental facilities, religious facilities, health care facilities, cultural facilities, or clubs in Table 18.09.020 in residential zones shall be processed as major conditional use permits and shall be required to meet the following criteria, in addition to those in subsection D of this section:
 1. All sites must front on roads classified as residential suburban, collector, or arterial on the Bainbridge Island functional road classification map. **The subject property is fronting on Bucklin Hill Road which is a collector road.**
 2. If the traffic study shows an impact on the level of service, those impacts have been mitigated as required by the city engineer. **The submitted trip generation data did not show a change to the level of service requiring mitigation. The project is increasing the PM peak hour trips by three trips and increasing trips overall by less than 33, therefore a traffic study was not required.**
 3. If the application is located outside of Winslow study area, the project shall provide vegetated perimeter buffers in compliance with BIMC [18.15.010](#). **The proposal is within the Winslow study area, but will still be providing buffers in accordance with 18.15.010.**
 4. The proposal meets the requirements of the commercial/mixed use design guidelines in BIMC [18.18.030.C](#). **The proposal is consistent with the commercial/mixed use design guidelines as far as they were applicable. The DRB reviewed the project and has provided a recommendation of approval (Attachments U, V & W).**
 5. The scale of proposed construction including bulk and height and architectural design features is compatible with the immediately surrounding area. **As a fire station, the construction has unique architectural style, however it will be**

compatible with the immediate surrounding properties which include the American Legion Hall and a private school (Hyla).

6. If the facility will have attendees and employees numbering fewer than 50 or an assembly seating area of less than 50, the director may waive any or all the above requirements in this subsection E, but may not waive those required elsewhere in the BIMC. **No requirements were waived.**
7. Lot coverage does not exceed 50 percent of the allowable lot coverage in the zone in which the institution is located, except that existing public schools and governmental facilities, as defined in BIMC Title 18, shall be allowed 100 percent of the lot coverage established in the underlying zoning district in which it is located unless conditions are required to limit the lot coverage to mitigate impacts of the use. **This construction is replacing an existing governmental facility therefore it is allowed 100 percent of the underlying lot coverage. The proposal is to use only 10.7% lot coverage when 15% would be allowed.**

9. **BIMC Chapter 2.16.170 Consolidated Project Review**

When an applicant has two or more land use applications, they may request that the applications be processed under a single consolidated project review process. **The proposed project requires both Site Plan and Design Review in addition to a Conditional Use Permit. The two applications are being reviewed under the consolidated project review provisions.**

F. Environmental Review:

A SEPA Mitigated Determination of Nonsignificance was issued by the SEPA Official on October 11, 2016.

III. **CONCLUSIONS**

Staff's Conclusion

As conditioned, the proposed project is consistent with the Comprehensive Plan, the applicable sections of the Bainbridge Island Municipal Code including: BIMC Chapter 16.16 Noise Regulations; BIMC Chapter 18.06.0020C R-1 Zone; BIMC 18.09.020 Permitted Use Table; 18.12 Dimensional Standards; BIMC 18.15.010 Landscaping and Screening; BIMC 18.15.020 Parking and loading; BIMC 18.15.030 Mobility and access; BIMC 18.15.040 Outdoor Lighting; and BIMC 18.18 Design Guidelines; BIMC 2.16.040 Site Plans and Design Review; and BIMC Chapter 2.16.170 Consolidated Project review. Appropriate notice of application was made, and a SEPA Mitigated Determination of Non-significance was issued. The application is properly before the Planning Commission in a public meeting.

IV. **Attachments:**

- A. Public Participation Meeting Summary and comment matrix
- B. Site Plan and Design Review Application, Revised March 4, 2016
- C. Conditional Use Permit Application, Revised March 4, 2016
- D. Vicinity Map/Aerial Photo of Site
- E. Project Summary/Introduction/Description of Proposal by Architect
- F. Existing Site Conditions Map
- G. Site Plan Map

- H. Floor Plan
- I. Color Elevation Renderings
- J. Elevation Drawings
- K. Building Section
- L. Illustrative Landscaping Plan
- M. Tree Retention Analysis
- N. Tree Retention Plan
- O. Plant Schedule
- P. Planting Plan (South)
- Q. Planting Plan (North)
- R. Landscape Buffer Diagram
- S. Trip Generation Letter
- T. Development Engineer Project Review Memo
- U. Design Review Board Minutes, December 21, 2015
- V. Design Review Board Minutes, February 22, 2016
- W. Design Review Board Minutes, March 7, 2016
- X. Bainbridge Island Fire Department Memo/Recommendation
- Y. Landscape Plan Supplemental Information
- Z. Arborist Analysis of trees potential impacts by development
- AA. Letter from Mackenzie regarding parking demand

Redevelop the existing fire station 21 located at 8895 Madison Avenue North as a two-story, approximately 30,760 sf building with living quarters, meeting spaces, offices, storage areas and an apparatus bay, with associated site improvements. The existing memorial is to be preserved; the flagpoles are to be relocated. The existing helicopter landing pad and fence in the southern portion of the site are to be preserved.

Redevelop the existing fire station 22 located at 7934 Bucklin Hill Road as a two-story, approximately 16,808 sf building with living quarters, meeting spaces, offices, storage areas and an apparatus bay with associated site improvements. The existing flag poles will be relocated.

ISSUE/QUESTION	RESPONSE FROM APPLICANT OR CITY
Was the facility considered to have a joint police/fire building?	It was originally considered but as of 2014 there was a vote to not combine the two.
Does this plan prohibit a combined facility?	Yes, this is only large enough for fire. The land is too small for a combined facility.
What is the acreage of Station 21?	3.91 acres.
Have you looked into geothermal?	Yes, but the size and cost make it prohibitive.
Are both buildings being replaced or remodeled?	Replaced.
How big are the existing buildings compared to the proposed?	Building 21 is approximately 1/3 rd larger than the existing.
How many parking spaces for the public is there at Station 21? Is there more or less than existing?	The same amount is proposed.
Would you consider a safe route from bus stop on 305 to the Barn property through the Fire station?	Our concern is for safety due to the helipad. We will look into a possible pedestrian connection.
Why are you proposing 9 bays?	We are designing for 50 years and anticipate extra bays for engines and EMS services.

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.

PENCIL WILL NOT BE ACCEPTED.



<p>DATE STAMP FOR CITY USE ONLY</p> <p style="color: blue; font-size: 1.2em;">City of Bainbridge Island</p> <p style="color: blue; font-size: 1.2em;">MAR 4 2016</p> <p style="color: blue; font-size: 1.2em;">Planning and Community Development</p>	<p style="text-align: center;"><u>TO BE FILLED OUT BY APPLICANT</u></p> <p>PROJECT NAME: BAINBRIDGE ISLAND FIRE DEPARTMENT, STATION 22</p> <p>TAX ASSESSOR'S NUMBER: <u>4178-000-012-0004</u></p> <hr/> <hr/> <p>PROJECT STREET ADDRESS OR ACCESS STREET: 7934 BUCKLIN HILL ROAD NE</p> <p>ENVIRONMENTAL CHECKLIST SUBMITTED : <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <hr/> <p style="text-align: center;"><u>FOR CITY USE ONLY</u></p> <p>FILE NUMBER:</p> <p>PROJECT NUMBER:</p> <p>DATE RECEIVED:</p> <p>APPLICATION FEE:</p> <p>TREASURER'S RECEIPT NUMBER:</p>
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SUBMITTAL REQUIREMENTS	
APPLICATION	<i>One original (which must contain an original signature) and six copies</i> must be provided. Whenever possible, originals must be <i>signed in blue</i> . Please identify the original document.
SUPPORTING DOCUMENTS	<i>One original (which must contain an original signature)</i> , where applicable, and <i>six copies</i> (if an original is not applicable, <i>seven copies</i> must be provided).
FULL-SIZE DRAWINGS	<i>Seven copies</i> of the required drawings must be provided. Drawings <i>must be folded and 18" x 24"</i> in size. <i>No construction drawings or other sized drawings</i> will be accepted unless specifically requested.
REDUCED DRAWINGS	<i>Five copies</i> of the drawings reduced to 11" x 17" must be provided.
SUBMITTING APPLICATIONS	Applications <i>must be submitted in person</i> by either the owner or the owner's designated agent. Should an agent submit the application, a <i>notarized Owner/Agent Agreement</i> must accompany the application. Please call (206) 780-3762 to make an appointment to submit your application.
FEES	Please call the Department of Planning & Community Development for submittal fee information.
ATTACHED SUBMITTAL CHECKLIST	Please refer to attached Submittal Checklist for further information. NOTE: when submitting this application, please do not copy or include the Submittal Checklist sheets attached to the back of this application.
<p>APPLICATIONS WILL NOT BE ACCEPTED unless these basic requirements are met and the submittal packet is deemed counter complete.</p>	

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812
PHONE: (206) 842-2111 • FAX: (206) 842-2112 • EMAIL: pland@bainbridgewa.gov

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

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A. GENERAL INFORMATION

1. Name of property owner: Bainbridge Island Fire Department
Address: 8895 Madison Avenue N, Bainbridge Island, WA 98110
Phone: (206) 842-7686 Fax:
E-mail: Lcarpenter@bifd.org

Name of property owner:
Address:
Phone: Fax:
E-mail:

Name of property owner:
Address:
Phone: Fax:
E-mail:

If the owner(s) of record as shown by the county assessor's office is (are) not the agent, the owner's (owners') signed and notarized authorization(s) must accompany this application.

2. Applicant/agent: Michael Chen, Mackenzie
Address: Logan Building, 500 Union Street, Suite 545, Seattle, WA 98101
Phone: (206) 749-9993, Extension 513 Fax: (206) 749-5565
E-mail: MChen@mcknze.com

3. Name of land surveyor: Adam & Goldsworthy, Inc.
Address: 1015 NE Hostmark Street, Suite 103, Poulsbo, WA 98370
Phone: (360) 779-4299 Fax: (360) 779-4213
E-mail: info@agols.com

4. Planning department personnel familiar with site: Nan Gladstein, Josh Machen

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
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CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

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5. Description of proposal: Redevelopment of existing fire station as single-story (with mezzanine), approximately 14,150-square foot building, with living quarters, meeting spaces, offices, storage areas, and an apparatus bay, with associated site improvements. Existing flagpoles to be relocated.

6. Driving directions to site: The site is accessible from Bucklin Hill Road NE to the south.

7. Please give the following existing parcel information:

Assessor's Parcel Number	Parcel Owner	*Lot Area
4178-000-012-0004	City of Bainbridge Island	3.05 ac.
Use additional sheet if necessary	Total of all parcels:	3.05

* As defined in Bainbridge Island Municipal Code 18.12.050

8. Legal description (or attach): STETSON'S, H A, 5 ACRE TRACTS BLK-000 LOT-012 D-00 N 658.02FT OF LOT 12 EXC W 120FT

9. Current comprehensive plan, zoning and shoreline designations and use of subject parcel(s):

Lot Number	Comp Plan Designation	Zoning Designation	Shoreline Designation	Current Use
Lot 4178-000-012-0004	OSR-1	R-1		Existing fire station
Lot				
Lot				
Lot				

10. Current comprehensive plan, zoning and shoreline designations and use of adjacent properties:

Property	Comp Plan Designation	Zoning Designation	Shoreline Designation	Current Use

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SITE PLAN AND DESIGN REVIEW APPLICATION

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North	OSR-1	R-1		Residential properties
South	OSR-0.4	R-0.4		Hyla Middle School
East	OSR-1	R-1		Residential properties
West	OSR-1	R-1		American Legion Post

11. Common name of adjacent water area or wetlands area: N/A

12. Does the site contain an environmentally sensitive area as defined in Critical Areas Ordinance (*Bainbridge Island Municipal Code Chapter 16.20*)? yes no unknown

If yes, check as appropriate:

<input type="checkbox"/> wetland*	<input type="checkbox"/> geologically hazardous area**
<input type="checkbox"/> wetland buffer*	<input type="checkbox"/> zone of influence**
<input type="checkbox"/> stream*	<input type="checkbox"/> slope buffer**
<input type="checkbox"/> stream buffer*	<input type="checkbox"/> fish and wildlife habitat area

* If your site includes a wetland or wetland buffer, a wetland report is required with your application.

** If your site includes a geologically hazardous area or is within the zone of influence as defined in *Bainbridge Island Municipal Code 16.20*, a geotechnical report may be required with your application.

13. Are there underlying/overlying agreements on the property? yes no unknown
If yes, check as appropriate and provide a copy of the decision document:

<input checked="" type="checkbox"/> CUP Conditional Use Permit	<input type="checkbox"/> SPR Site Plan Review
<input type="checkbox"/> MPD Master Planned Development	<input type="checkbox"/> SPT Short Plat
<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SSDP Shoreline Permit
<input type="checkbox"/> REZ Contract Rezone	<input type="checkbox"/> SUB Prior Subdivision
<input type="checkbox"/> RUE Reasonable Use Exception	<input type="checkbox"/> VAR Zoning Variance
	<input type="checkbox"/> Other:

Under which jurisdiction was the approval given?

City of Bainbridge Island Kitsap County

Approval date: Unknown

14. Is there any other information which is pertinent to this project? yes no

If yes, please explain:

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SITE PLAN AND DESIGN REVIEW APPLICATION

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If yes, existing sidewalks are _____ feet wide. Sidewalk installation is proposed as part of the development project: yes no

Proposed sidewalks: adjacent to the parcel and are to be _____ feet wide. internal to the proposal and are to be 5-7 feet wide.

8. Intended use of the land, as well as the sequence and timing of the proposed development: The land is proposed for redevelopment under the same use as a fire station. Pending the required approvals, construction is expected to start in the fall of 2016 and to be complete in 2018.

9. Floor area ratio: 0.18

10. Dimensions of proposed structures: Proposed GSF: 14,150 SF; proposed lot coverage: 13,422 SF / 9.9%

11. Height of proposed buildings or structures: 26'-6" (maximum roofline)

12. Square footage of all spaces: retail: N/A office: 4,361 square feet A-3: 549 square feet storage: 728 square feet residential: 1,128 square feet other: 6,850 square feet (apparatus bay and support spaces)

13. Number of stories proposed: 1 (ground floor and mezzanine)

14. Square feet per story: (1) 13,422 square feet (2) 728 square feet (3) N/A

15. Setback requirements: north: 15 feet east: 10-25 feet south: 25 feet west: 10-25 feet

16. Number of parking stalls 19

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT 280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812 PHONE: (206) 842-2552 • FAX: (206) 780-0955 • EMAIL: pcd@bainbridgewa.gov www.ci.bainbridge-isl.wa.us

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

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required: _____

17. Number of parking stalls proposed: 19

18. Amount of square footage of proposed paved areas: 43,330 square feet

19. Square footage of building area: 13,422 square feet

20. Percent of site to be covered by impervious surfaces: 37.9%
(If the proposal results in more than 1,000 square feet of additional impervious surface, a drainage plan shall be required.)

21. Percentage of site to be covered by landscaping: 62.0%

22. Percentage of parking area to be covered by landscaping: 21.4%

23. Percentage of site to remain undeveloped: 56.2%

24. Is the applicant proposing any terms, conditions, covenants and agreements or other documents regarding the intended development: (If yes, attach copies)
 yes no unknown

25. List any other permits for this project from state, federal or local governmental agencies for which you have applied or will apply, including the name of the issuing agency, whether the permit has been applied for, and if so, the date the application was approved or denied, and the application or permit number:

Design Review and Conditional Use Permit Approval, SEPA Determination:
City of Bainbridge Island
NPDES Permit: Washington State Department of Ecology

26. Will the completed project result in 800 or more square feet of impervious surface (building footprint + driveways + parking)? yes no unknown

27. Will the project result in clearing more than six significant trees or 2,500 square feet of ground? yes no unknown

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CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

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PENCIL WILL NOT BE ACCEPTED.



28. Do storm water systems exist on the site? yes no unknown

If yes, were they constructed after 1982? yes no unknown

If yes, what type of storm water system exists on the site?

infiltration open ditching closed conveyance detention

29. Will the completed project result in excavating of or filling in:

less than 50 cubic yards. more than 50 cubic yards but less than 100 cubic yards. more than 100 cubic yards.

I hereby certify that I have read this application and know the same to be true and correct.

[Handwritten Signature]

*Signature of owner or authorized agent

January 14, 2016

Date

Michael Chen

Please Print

**If signatory is not the owner of record, the attached "Owner/Agent Agreement" must be signed and notarized.*

Owner/Agent Agreement

The undersigned is (are) the owner(s) of record of the property identified by the Kitsap County Assessor's account number 4178-000-012-0004,

located at 7934 Bucklin Hill Road NE,

Bainbridge Island, Washington. The undersigned hereby gives (give) consent and approval to Michael Chen, Mackenzie

to act on his/her (their) behalf as his/her (their) agent to proceed with an application for (please check all items that apply):

- preapplication conference
- planning permits
- construction permits (i.e. building, water/sewer availability, right-of-way, etc)

on the property referenced herein. This agreement authorizes the agent to act on the owner's behalf for the above checked applications through (date or specific phase) construction permits.

[Signature] 1/13/16
Owner of record Date

Owner of record Date

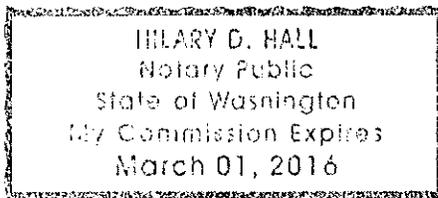
STATE OF WASHINGTON)
) ss.
COUNTY OF KITSAP)

On this 13th day of January, 2016, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared:

Luke Carpenter

to me known as the individual(s) described in and who executed the foregoing instrument, and acknowledged to me that he/she/they signed and sealed the said instrument, as his/her/their free and voluntary act and deed for the uses and purposes therein mentioned, and on oath stated that he/she/they was (were) authorized to execute said instrument.

WITNESS MY HAND AND OFFICIAL SEAL, hereto affixed the day and year in this certificate above written.



[Signature]
Notary Public in and for the State of Washington
Residing at 275 NW Scandia Rd, Poulsbo WA
My appointment expires: 3/1/2016



CITY OF BAINBRIDGE ISLAND
 Department of Planning & Community Development
 280 Madison Avenue North, Bainbridge Island, WA 98110
 Phone: 206-842-2552 Email: pcd@bainbridgewa.gov
 Website: www.bainbridgewa.gov
 Portal: <https://ci-bainbridgeisland-wa.smartgovcommunity.com/portal>

APPLICATION - PAGE 1

DATE STAMP

City of Bainbridge Island
 MAR - 4 2016
 Planning and
 Community Development

DATE SUBMITTED 01/15/2016	PROJECT NUMBER PLN14200 CUP	
PROJECT NAME BAINBRIDGE FIRE STATION 22		
PROJECT TYPE Conditional Use		
PROJECT ADDRESS OR ACCESS STREET 7934 Buckling Hill Road		
TAX PARCEL NUMBER(S) 4178-000-012-0004		
REVISIONS RECEIVED: MARCH 4, 2016		
FEE HISTORY	AMOUNT	PAID
Condition Use Permit Fee	\$10,494.00	\$10,494.00

PROJECT DESCRIPTION

PRIMARY FILE. 3/4/2016 REVISION: Redevelopment of existing fire station as a single story (with mezzanine), approximately 14150 sf building, with living quarters, offices, storage areas and an apparatus bay, with associated site improvements. Existing flag poles will be relocated.

PEOPLE ASSOCIATED WITH CASE

COBI PROJECT MANAGER JOSH MACHEN -- PHONE: 206-780-3765 E-MAIL: jmachen@bainbridgewa.gov
OWNER BAINBRIDGE ISLAND FIRE DISTRICT , Luke Carpenter, 8895 Madison Avenue North, Bainbridge Island, WA 98110 Phone: 206-842-7686 E-MAIL: lcarpenter@bifd.org
CONTACT MICHAEL CHEN , Mackenzie Design, 500 Union Street, Suite 545, Seattle, WA 98101 Phone: 206-749-9993 ext 513 E-MAIL: mchen@mcknze.com
CONTACT LUKE CARPENTER , Assistant Chief, Bainbridge Island Fire Department, 8895 Madison Avenue North, Bainbridge Island, WA 98110 Phone: 206-451-2033 E-MAIL: lcarpenter@bifd.org

CITY OF BAINBRIDGE ISLAND

CONDITIONAL USE PERMIT APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.
PENCIL WILL NOT BE ACCEPTED.



<p style="text-align: center;">DATE STAMP FOR CITY USE ONLY</p> <p style="text-align: center; color: blue; font-weight: bold;">City of Bainbridge Island</p> <p style="text-align: center; color: blue; font-weight: bold;">MAR 4 2016 <i>Revision</i> Planning and Community Development</p>	<p style="text-align: center;">TO BE FILLED OUT BY APPLICANT</p> <p>PROJECT NAME: BAINBRIDGE ISLAND FIRE DEPARTMENT, STATION 22</p> <p>TAX ASSESSOR'S NUMBER: <u>4178-000-012-0004</u></p> <hr/> <p>PROJECT STREET ADDRESS OR ACCESS STREET: <u>7934 BUCKLIN HILL ROAD NE</u></p> <p>ENVIRONMENTAL CHECKLIST SUBMITTED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <hr/> <p style="text-align: center;">FOR CITY USE ONLY</p> <p>FILE NUMBER: <u>PLN14200 CUP</u></p> <p>PROJECT NUMBER: <u>14200</u></p> <p>DATE RECEIVED: <u>Revision of 3/4/2016</u></p> <p>APPLICATION FEE: <u>\$10,494.00 rec'd 1/15/2016</u></p> <p>TREASURER'S RECEIPT NUMBER: <u>16-00053 of 1/15/2016</u></p>
SUBMITTAL REQUIREMENTS	
APPLICATION	<i>One original (which must contain an original signature) and six copies</i> must be provided. Whenever possible, originals must be <i>signed in blue</i> . Please identify the original document.
SUPPORTING DOCUMENTS	<i>One original (which must contain an original signature)</i> , where applicable, and <i>six copies</i> (if an original is not applicable, <i>seven copies</i> must be provided).
FULL-SIZE DRAWINGS	<i>Seven copies</i> of the required drawings must be provided. Drawings <i>must be folded and 18" x 24"</i> in size. <i>No construction drawings or other sized drawings</i> will be accepted unless specifically requested.
REDUCED DRAWINGS	<i>Two copies (five if commercial)</i> of the drawings reduced to 11" x 17" must be provided.
SUBMITTING APPLICATIONS	Applications <i>must be submitted in person</i> by either the owner or the owner's designated agent. Should an agent submit the application, a <i>notarized Owner/Agent Agreement</i> must accompany the application. Please call (206) 780-3762 to make an appointment to submit your application.
FEES	Please call the Department of Planning & Community Development for submittal fee information.
ATTACHED SUBMITTAL CHECKLIST	Please refer to attached Submittal Checklist for further information. NOTE: when submitting this application, please do not copy or include the Submittal Checklist sheets attached to the back of this application.
APPLICATIONS WILL NOT BE ACCEPTED unless these basic requirements are met and the submittal packet is deemed counter complete.	

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812
PHONE: (206) 842-2552 • FAX: (206) 780-0955 • EMAIL: pcd@bainbridgewa.gov
www.ci.bainbridge-isl.wa.us

CITY OF BAINBRIDGE ISLAND

CONDITIONAL USE PERMIT APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.
PENCIL WILL NOT BE ACCEPTED.



A. GENERAL INFORMATION

Please indicate which of the following is the reason for which you are applying:
_____ Height Use

1. Name of property owner: Bainbridge Island Fire Department
Address: 8895 Madison Avenue N, Bainbridge Island, WA 98110
Phone: (206) 842-7686 Fax: _____
E-mail: Lcarpenter@bifd.org

Name of property owner: _____
Address: _____
Phone: _____ Fax: _____
E-mail: _____

Name of property owner: _____
Address: _____
Phone: _____ Fax: _____
E-mail: _____

If the owner(s) of record as shown by the county assessor's office is (are) not the agent, the owner's (owners') signed and notarized authorization(s) must accompany this application.

2. Authorized agent: Michael Chen, Mackenzie
Address: Logan Building, 500 Union Street, Suite 545, Seattle, WA 98101
Phone: (206) 749-9993, Extension 513 Fax: (206) 749-5565
E-mail: MChen@mcknze.com

3. Person responsible for payment: Luke Carpenter, Assistant Chief, Bainbridge Island Fire Department
Address: 8895 Madison Avenue N, Bainbridge Island, WA 98110
Phone: (206) 451-2033 Fax: _____
E-mail: Lcarpenter@bifd.org

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4. Project contact: Michael Chen, Mackenzie
 Address: Logan Building, 500 Union Street, Suite 545, Seattle, WA 98101
 Phone: (206) 749-9993, Extension 513 Fax: (206) 749-5565
 E-mail: MChen@mcknze.com

5. Name of land surveyor: Adam & Goldsworthy, Inc.
 Address: 1015 NE Hostmark Street, Poulsbo, WA 98370
 Phone: (360) 779-4299 Fax: (360) 779-4213
 E-mail: info@agols.com

6. Planning department personnel familiar with site: Nan Gladstein, Josh Machen

7. Description of proposal: Redevelopment of existing fire station as single-story
(with mezzanine), approximately 14,150-square foot building, with living quarters,
offices, storage areas, and an apparatus bay, with associated site
improvements. Existing flagpoles to be relocated.

8. Driving directions to site: The site is accessible from Bucklin Hill Road NE to the
south.

9. Please give the following existing parcel information:

Assessor's Parcel Number	Parcel Owner	*Lot Area
4178-000-012-0004	City of Bainbridge Island	3.05 ac.
Use additional sheet if necessary	Total of all parcels:	3.05

* As defined in Bainbridge Island Municipal Code 18.12.050

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10. Legal description (or attach): STETSON'S, H A, 5 ACRE TRACTS BLK-000
LOT-012 D-00 N 658.02FT OF LOT 12 EXC W 120FT

11. Current comprehensive plan, zoning and shoreline designations and use of subject parcel(s):

Lot Number	Comp Plan Designation	Zoning Designation	Shoreline Designation	Current Use
Lot 4178-000-012-0004	OSR-1	R-1		Existing fire station
Lot				
Lot				
Lot				

12. Current comprehensive plan, zoning and shoreline designations and use of adjacent properties:

Property	Comp Plan Designation	Zoning Designation	Shoreline Designation	Current Use
North	OSR-1	R-1		Residential properties
South	OSR-0.4	R-0.4		Hyla Middle School
East	OSR-1	R-1		Residential properties
West	OSR-1	R-1		Undeveloped Legion Hall

13. Common name of adjacent water area or wetlands area: N/A

14. Does the site contain an environmentally sensitive area as defined in Critical Areas Ordinance (*Bainbridge Island Municipal Code Chapter 16.20*)? yes no unknown

If yes, check as appropriate:

<input type="checkbox"/> wetland*	<input type="checkbox"/> geologically hazardous area**
<input type="checkbox"/> wetland buffer*	<input type="checkbox"/> zone of influence**
<input type="checkbox"/> stream*	<input type="checkbox"/> slope buffer**
<input type="checkbox"/> stream buffer*	<input type="checkbox"/> fish and wildlife habitat area

* If your site includes a wetland or wetland buffer, a wetland report is required with your application.

** If your site includes a geologically hazardous area or is within the zone of influence as defined in *Bainbridge Island Municipal Code 16.20*, a geotechnical report is required with your application.

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15. Are there underlying/overlying agreements on the property? yes no unknown
If yes, check as appropriate and provide a copy of the decision document: Please see list of land use decisions included with Conditional Use Permit Narrative.

<input checked="" type="checkbox"/> CUP Conditional Use Permit	<input type="checkbox"/> SPR Site Plan Review
<input type="checkbox"/> MPD Master Planned Development	<input type="checkbox"/> SPT Short Plat
<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SSDP Shoreline Permit
<input type="checkbox"/> REZ Contract Rezone	<input type="checkbox"/> SUB Prior Subdivision
<input type="checkbox"/> RUE Reasonable Use Exception	<input type="checkbox"/> VAR Zoning Variance
	<input type="checkbox"/> Other: _____

Under which jurisdiction was the approval given?

City of Bainbridge Island Kitsap County

Approval date: Unknown

16. Is there any other information which is pertinent to this project? yes no

If yes, please explain: _____

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B. TECHNICAL INFORMATION

1. Name of water purveyor: City of Bainbridge Island
If a private well, what class? N/A

2. Type of sewage disposal: on-site septic off-site septic sewer
Sewer district: City of Bainbridge Island Sewer District 7

3. General description of the existing terrain: The site is relatively flat, fully developed, with no known geological concerns.

4. Soil survey classification: Geotechnical information on the site is available from Aspect Consulting; soil types found on the site include sand and silt.

5. Flood plain designation: X AE

6. Access (street functional road classifications):

Street Type	Required ROW Width	Street Name	Existing ROW Width
primary arterial	150 feet		
secondary arterial	60 feet	Bucklin Hill Road NE	60 feet
collector	50 feet		
residential urban	40 feet		
residential suburban	30 feet		
private	20 - 30 feet		

7. Sidewalks are adjacent to the parcel: yes no
If yes, existing sidewalks are _____ feet wide.
Sidewalk installation is proposed as part of the development project: yes no
Proposed sidewalks: adjacent to the parcel and are to be _____ feet wide.

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internal to the proposal and are to be 5-7 feet wide.

8. Intended use of the land, as well as the sequence and timing of the proposed development:
The land is proposed for redevelopment under the same use as a fire station.
Pending the required approvals, construction is expected to start in the fall of
2016 and to be complete in 2018.

9. Dimensions of proposed structures: Proposed GSF: 14,150 SF; proposed lot coverage: 13,422 SF / 9.9%

10. Height of proposed buildings or structures: 26'-6" (maximum roofline)

11. Square footage of all spaces:	storage:	<u>728 square feet</u>
retail: <u>N/A</u>	residential:	<u>1,128 square feet</u>
office: <u>4,361 square feet</u>	other:	<u>6,850 square feet</u>
A-3: <u>549 square feet</u>		<u>(apparatus bay and support spaces)</u>

12. Number of stories proposed: 1 (ground floor and mezzanine)

13. Square feet per story: (1) 13,422 SF (2) 728 SF (3) N/A

14. Setback requirements:			
north:	<u>15 feet</u>	south:	<u>25 feet</u>
east:	<u>10-25 feet</u>	west:	<u>10-25 feet</u>

15. Number of parking stalls required: 19

16. Number of parking stalls proposed: 19

17. Amount of square footage of proposed paved areas: 43,330 square feet

18. Square footage of building area: 13,422 square feet

19. Percent of site to be covered by impervious surfaces: 37.9%

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(If the proposal results in more than 1,000 square feet of additional impervious surface, a drainage plan shall be required.)

20. Percentage of site to be covered by landscaping: 62%

21. Percentage of parking area to be covered by landscaping: 21.4%

22. Percentage of site to remain undeveloped: 56.2%

23. Is the applicant proposing any terms, conditions, covenants and agreements or other documents regarding the intended development: (If yes, attach copies) yes no unknown

24. Is the proposal part of a phased development plan? (If so, an outline of the future plans must be submitted.)
N/A

25. List any other permits for this project from state, federal or local governmental agencies for which you have applied or will apply, including the name of the issuing agency, whether the permit has been applied for, and if so, the date the application was approved or denied, and the application or permit number:
Site Plan and Design Review Approval, SEPA Determination, Building Permit:
City of Bainbridge Island
NPDES Permit: Washington State Department of Ecology

26. Will the completed project result in 800 or more square feet of impervious surface (building footprint + driveways + parking)? yes no unknown

27. Will the project result in clearing more than six significant trees or 2,500 square feet of ground? yes no unknown

28. Do storm water systems exist on the site? yes no unknown
If yes, were they constructed after 1982? yes no unknown

If yes, what type of storm water system exists on the site?

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- infiltration
- open ditching
- closed conveyance
- detention

29. Will the completed project result in excavating of or filling in:

- less than 50 cubic yards.
- more than 50 cubic yards but less than 100 cubic yards.
- more than 100 cubic yards.

C. Conditional Use Permit Criteria

In accordance with Chapter 2.16.050 and 2.16.110 of the City of Bainbridge Island Municipal Code, the applicant must answer the following questions:

1. In what manner is the requested conditional use harmonious and compatible in design, character and appearance with the existing or intended character and quality of development in the vicinity of the subject property and with the physical characteristics of the subject property?

Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.

2. How has the proposed conditional use made adequate provision for the following facilities:

- a) roads; Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.
 - b) water availability;
 - c) fire protection;
 - d) sewage disposal facilities, and
 - e) storm drainage facilities.
-
-

3. Describe how the proposed conditional use will not be materially detrimental to uses or property in the vicinity of the subject property:

Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.

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-
-
4. Relate how the proposed conditional use will meet all the criteria otherwise applicable to the zone in which it is to be developed:

Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.

5. How is the conditional use in conformance with the Comprehensive Plan?

Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.

6. How does the conditional use comply with all of the other provisions of the city code?

Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.

7. Describe how the conditional use will not adversely affect the area or alter the area's predominantly residential nature?

Please refer to the Conditional Use Permit Narrative and Exhibits included included with this application.

8. How is the subject property suitable for the proposed conditional use and will it be

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detrimental to surrounding land uses or sensitive areas? Consideration shall include items such as topography, streets and adjacent land uses:

Please refer to the Conditional Use Permit Narrative and Exhibits included
included with this application.

9. Describe how all necessary measures have been taken to eliminate the impacts that issuance of the conditional use permit may have on the area in which it is to be located:

Please refer to the Conditional Use Permit Narrative and Exhibits included
included with this application.

I hereby certify that I have read this application and know the same to be true and correct.

Luke Carpenter
*Signature of owner or authorized agent

1/13/16
Date

Luke Carpenter
Please Print

**If signatory is not the owner of record, the attached "Owner/Agent Agreement" must be signed and notarized.*

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Owner/Agent Agreement

The undersigned is (are) the owner(s) of record of the property identified by the Kitsap County Assessor's account number 4178-000-012-0004,
located at 7934 Bucklin Hill Road NE,
Bainbridge Island, Washington. The undersigned hereby gives (give) consent and approval to
Michael Chen, Mackenzie

to act on his/her (their) behalf as his/her (their) agent to proceed with an application for (please check all items that apply):

- preapplication conference
- planning permits
- construction permits (i.e. building, water/sewer availability, right-of-way, etc)

on the property referenced herein. This agreement authorizes the agent to act on the owner's behalf for the above checked applications through (date or specific phase) construction permits.

Luke Carpenter 1/13/16
Owner of record Date Owner of record Date

STATE OF WASHINGTON)	
)	ss.
COUNTY OF KITSAP)	
<p>On this <u>13th</u> day of <u>January</u>, 20<u>16</u>, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared:</p> <p style="text-align: center;"><u>Luke Carpenter</u></p>		
<p>to me known as the individual(s) described in and who executed the foregoing instrument, and acknowledged to me that he/she/they signed and sealed the said instrument, as his/her/their free and voluntary act and deed for the uses and purposes therein mentioned, and on oath stated that he/she/they was (were) authorized to execute said instrument.</p>		
<p><i>WITNESS MY HAND AND OFFICIAL SEAL</i>, hereto affixed the day and year in this certificate above written.</p>		
<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;"><p>HILARY D. HALL Notary Public State of Washington My Commission Expires March 01, 2016</p></div>	<p><u>Hilary D. Hall</u> Notary Public in and for the State of Washington Residing at <u>275 NW Scandia Rd, Poulsbo WA</u> My appointment expires: <u>3/1/2016</u></p>	

Aerial Image – Project Site



ATTACHMENT D



I. PROJECT SUMMARY

Applicant: Bainbridge Island Fire Department
8895 Madison Avenue N
Bainbridge Island, WA 98110

Owner: Bainbridge Island Fire Department
8895 Madison Avenue N
Bainbridge Island, WA 98110

Site Address: 7934 Bucklin Hill Road NE
Bainbridge Island, WA 98110

Assessor Site Acreage: 3.05 acres

Zoning: 1 Unit per Acre Zone (40,000 square feet; R-1)
Critical Overlay District

Comprehensive Plan: 1 Unit per Acre Zone (40,000 square feet; OSR-1)

Adjacent Zoning: R-1 to the north, east, and west, and 1 Unit per Acre Zone (100,000 square feet; R-0.4) to the south

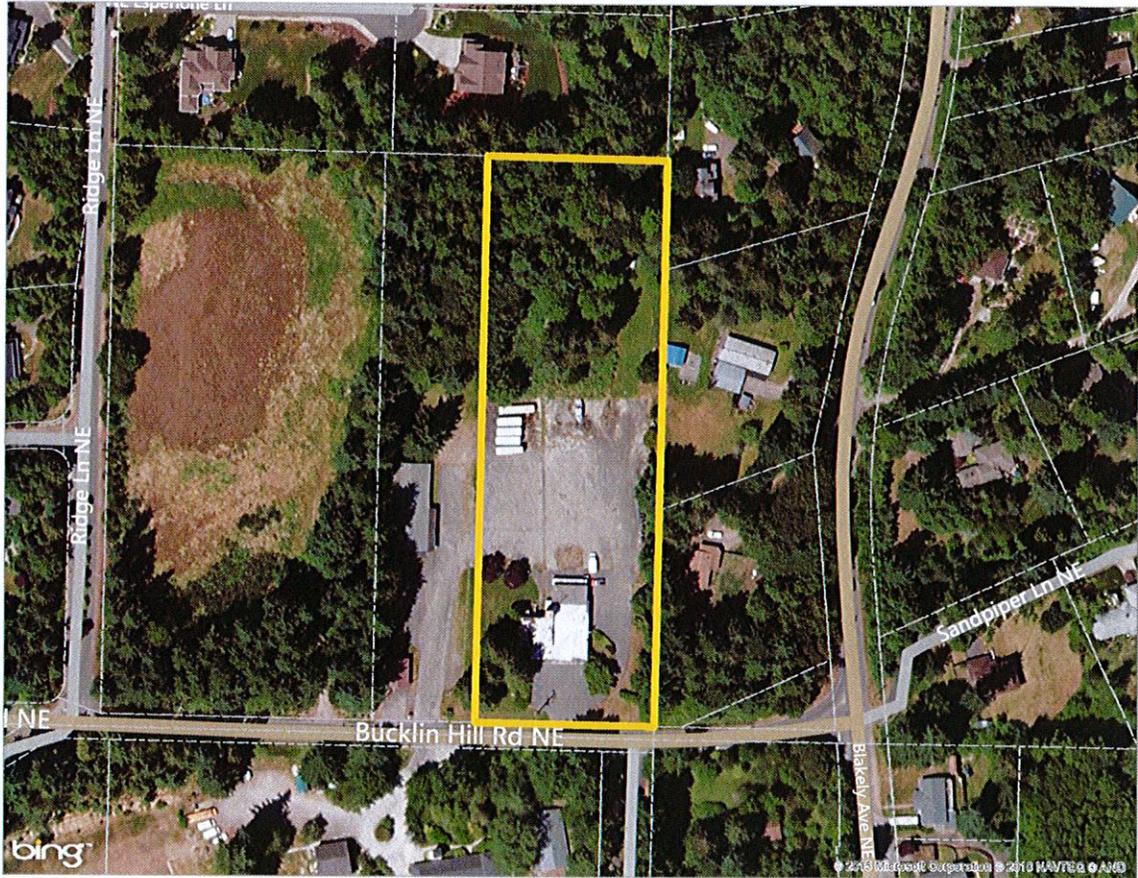
Existing Structures: Fire station, shop addition, shipping container, concrete and gravel pads, and other site improvements

Request: Conditional Use Permit

Project Contact: Mackenzie, Applicant's Representative
Michael Chen, Senior Planner
Logan Building
500 Union Street, Suite 545
Seattle, WA 98101
(206) 749-9993, Extension 513
MChen@mcknze.com

ATTACHMENT E

Aerial Image – Project Site



III. NARRATIVE & COMPLIANCE

1. *In what manner is the requested conditional use harmonious and compatible in design, character and appearance with the existing or intended character and quality of development in the vicinity of the subject property and with the physical characteristics of the subject property?*

Response: The proposed building is designed for compatibility with contemporary architecture characteristic of the Pacific Northwest in general and the Bainbridge Island community specifically. In a precedent study early in the development process, the applicant considered aesthetic features of the Bainbridge Island City Hall building, some elements of which may be incorporated into the final design of the fire station. Community members will be involved in the redevelopment of the fire station through participation in the community meeting to be held in the initial stages of the review process. As part of the community meeting, the applicant will present their ideas for the proposed fire station to both participants and the City of Bainbridge Island Design Review Board, all of whom will have the opportunity to comment on the proposal. The applicant supports this initiative to develop a meaningful process for citizen participation and looks forward to engaging the community's vision for Station 22.

2. *How has the proposed conditional use made adequate provision for the following facilities: a) roads, b) water availability, c) fire protection, d) sewage disposal facilities, and e) storm drainage facilities?*

Response:

- a) **Roads:** The site is currently served by Bucklin Hill Road NE to the south, which is functionally classified as a secondary arterial street according to the draft update of the City's Island Wide Transportation Plan (IWTP). The existing size of Bucklin Hill Road NE meets the required right-of-way width of 60 feet. The existing driveway will be relocated slightly to the west as an approximately 24-foot-wide driveway for both passenger vehicles and emergency access, and a seven-foot sidewalk will be constructed to connect the driveway to the parking area to the north and to the main building entrance to the north of the parking area.
- b) **Water availability:** The site is currently served by public water utility infrastructure provided by the City of Bainbridge Island that is adequate to meet the needs of the proposed development; therefore, no new water utilities or utility connections are proposed.
- c) **Fire protection:** The proposed building is designed for compliance with the Washington State Building Code, which includes fire protection measures. The building will be fully sprinklered, and some walls will be fire-rated.
- d) **Sewage disposal facilities:** The site is currently served by a private on-site septic system which is proposed to be redesigned in order to accommodate the larger redeveloped fire station.
- e) **Storm drainage facilities:** Stormwater facilities are proposed in the landscape area, including stormwater planters in the landscaping on the northern side and in the southeast corner of the site. As required according to jurisdictional erosion control standards, Best Management Practices (BMPs) and the relevant standard details will be utilized throughout the site and in construction activity.
3. *Describe how the proposed conditional use will not be materially detrimental to uses or property in the vicinity of the subject property.*

Response: The subject property is surrounded by residential properties to the north, Hyla Middle School to the south, residential properties to the east, and undeveloped property to the west. The proposed fire station use will be limited to 11.2 percent building coverage and 43.8 percent impervious area coverage on the site. Any noise related to the fire station use that can be defined as "[s]ounds created by emergency equipment and work necessary [...] for healthy safety or welfare of the community" are

exempt from all provisions of the Washington Administrative Code adopted by the City of Bainbridge Island governing maximum environmental noise levels (see Bainbridge Island Municipal Code Section 16.16.020. and WAC Section 173-60-050 [4] [f]).

4. *Relate how the proposed conditional use will meet all the criteria otherwise applicable to the zone in which it is to be developed.*

Response: The proposed use is designed in compliance with the dimensional standards for the base zone, R-1, as presented in the abridged version of Bainbridge Island Municipal Code (BIMC) Table 18.12.020-2 below.

TABLE 18.12.020-2: STANDARD LOT DIMENSIONAL STANDARDS FOR RESIDENTIAL ZONE DISTRICTS (ABRIDGED)		
Standard	Requirement	Proposal
Maximum Lot Coverage	20%	9.9%
Minimum Setbacks		
Front/Street	25 feet	~114 feet
Side	5–15 feet	~35' (E), ~65' (W)
Rear	15 feet	~284 feet
Maximum Building Height	35 feet	26.5 feet

5. *How is the conditional use in conformance with the Comprehensive Plan?*

Response: As articulated in the Comprehensive Plan, one of the City’s primary goals is to “[p]rovide adequate public facilities [...] which maximize public safety and minimize adverse environmental impacts.” In the Strategic Plan Update, BIFD identified critical needs at Station 22 and recommended a formal needs assessment, which the applicant’s representative, Mackenzie, was involved in producing. The proposed redevelopment of Station 22 will ensure not only that the buildings meet BIFD’s operational needs, but also that the redeveloped fire station will serve the needs of the Bainbridge Island community for decades to come.

6. *How does the conditional use comply with all of the other provisions of the city code?*

Response: The proposed use is designed in compliance with the development standards and guidelines as presented in the responses to excerpts from the BIMC below.

- Landscaping, screening, and tree retention, protection, and replacement: Entry gardens are proposed to the west of the main entry on the south side of the building, and a staff patio is proposed on the west side of the building. The existing forest buffer on the northern side of the site will be preserved, and a meadow will be maintained to the south of the forest buffer, north of the internal circulation area on the north side of the proposed building. A full screen buffer will be provided on the eastern side of the site, with partial screen buffers provided on the southern and western sides of the site. Interior parking areas will also be landscaped.
- Parking and loading: 19 parking spaces have been determined necessary and will be provided for the proposed development. No loading will be necessary for the development; therefore, no loading area is proposed.
- Mobility and access: Five- to seven-foot-wide internal sidewalks will be provided for the proposed development, and the development will be accessible via the existing driveway, to be redesigned as described above. One accessible parking space will be provided in the southern parking area. Bicycle parking will be provided in close proximity to the building entrance.

- Outdoor lighting: A photometric lighting plan is included with this application. Lighting design minimizes spillover to neighboring properties.
 - Signs: Exterior building signage is proposed.
7. *Describe how the conditional use will not adversely affect the area or alter the area's predominantly residential nature?*

Response: The fire station use is surrounded by residential properties to the north, Hyla Middle School to the south, residential properties to the east, and undeveloped property to the west. The station is strategically located so as to be able to respond to emergencies in both residential and non-residential areas of the City as rapidly as possible. The residential uses on two sides of the property and the school use on one side of the property have existed adjacent to the property in its current use as a fire station without adverse effects to the area or alterations to the area's predominately residential nature. The proposed building will be located in the center of the property, and landscape buffers will be provided on the perimeter of the property in order to reduce any potential impacts on adjacent uses.

8. *How is the subject property suitable for the proposed conditional use and will it be detrimental to surrounding land uses or sensitive areas? Consideration shall include items such as topography, streets and adjacent land uses.*

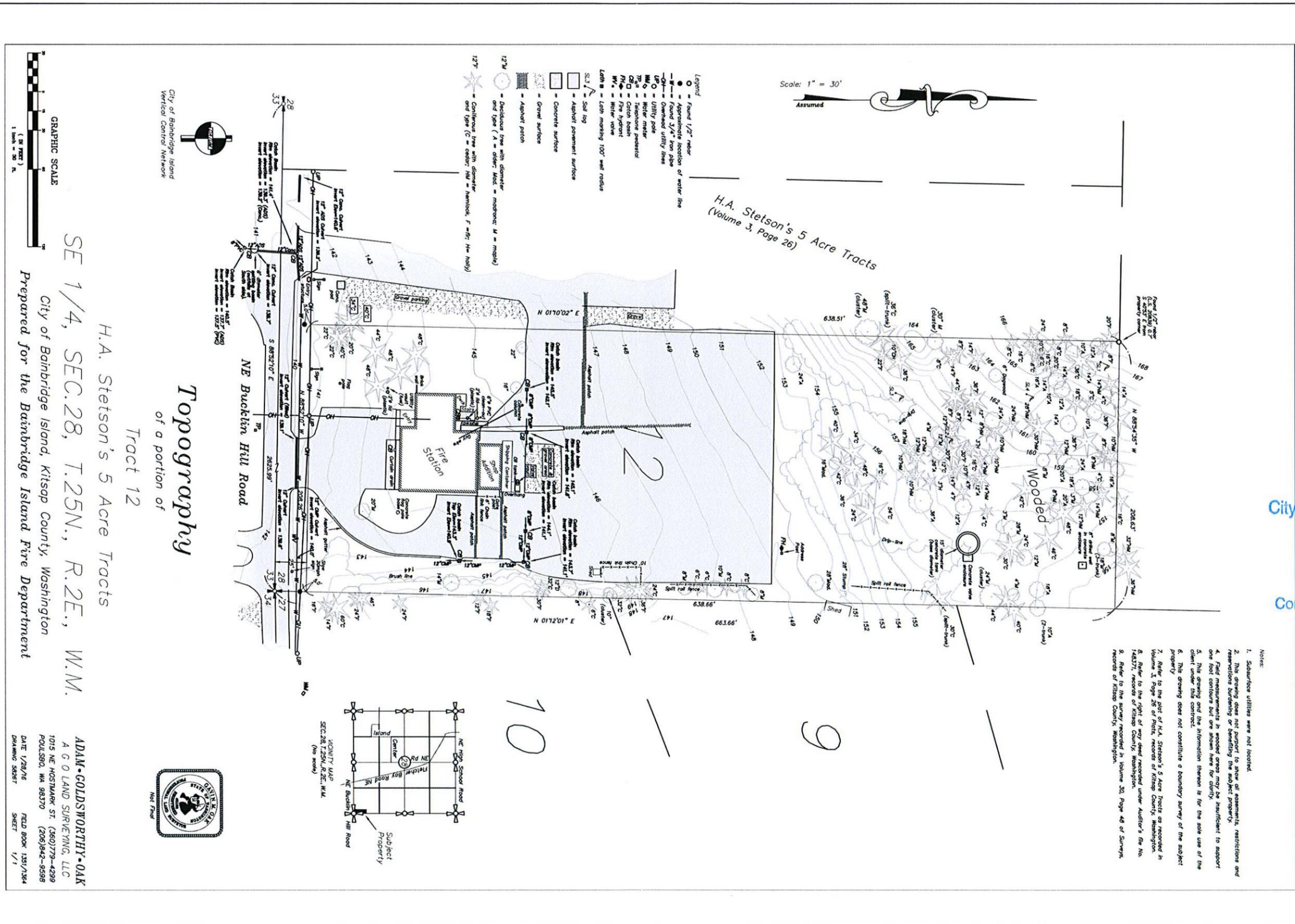
Response: The subject property is relatively flat, fully developed, with no known geological concerns. There are no known critical areas on the site. The site is served by Bucklin Hill Road NE to the east; the existing size of Bucklin Hill Road NE meets the required right-of-way width of 60 feet. The existing access to the site from Bucklin Hill Road NE will be redeveloped but preserved. The proposed use of the subject property as a fire station will be fully contained on the site and will not conflict with any of the uses in the vicinity.

9. *Describe how all necessary measures have been taken to eliminate the impacts that issuance of the conditional use permit may have on the area in which it is to be located.*

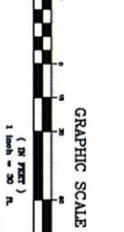
Response: Community members will be involved in the redevelopment of the fire station through participation in the community meeting to be held in the initial stages of the review process. As part of the community meeting, the applicant will present their ideas for the proposed fire station to both participants and the City of Bainbridge Island Design Review Board, all of whom will have the opportunity to comment on the proposal. The applicant supports this initiative to develop a meaningful process for citizen participation and looks forward to engaging the community's vision for Station 22.

IV. CONCLUSION

The applicant submits this narrative and the attached Exhibits in seeking approval of a Conditional Use Permit for the proposed redevelopment of the existing fire station located at 7934 Bucklin Hill Road NE. The preliminary land use application to follow will continue to demonstrate that the proposal is in compliance with the relevant standards provided by the City of Bainbridge Island.

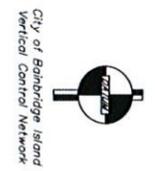


- Notes:
1. Surrounding utilities were not located.
 2. This drawing does not purport to show of easements, restrictions and reservations burdening or benefiting the subject property.
 3. Field measurements in wooded areas may be insufficient to support one foot contours but are shown here for clarity.
 4. This drawing and the information thereon is for the sole use of the client under this contract.
 5. This drawing does not constitute a boundary survey of the subject property.
 6. Refer to the plat of H.A. Stetson's 5 Acre Tracts as recorded in Volume 3, Page 26 of Plats, records of Kitsap County, Washington.
 7. Refer to the plat of any deed recorded under Auditor's file No. 148271, records of Kitsap County, Washington.
 8. Refer to the survey recorded in Volume 30, Page 48 of Surveys, records of Kitsap County, Washington.



H.A. Stetson's 5 Acre Tracts
 of a portion of
Topography
 Tract 12
 City of Bainbridge Island, Kitsap County, Washington
 Prepared for the Bainbridge Island Fire Department

ADAM GOLDSWORTHY • OAK
 A G O LAND SURVEYING, LLC
 1015 NE HOSMARK ST. (360) 779-4299
 POUISO, WA 98370 (206) 842-9598
 DATE 1/28/16 FIELD BOOK 131/1364
 DRAWING SHEET 1/1



MECHANICAL/ELECTRICAL
 INTERFACE ENGINEERING
 708 SW 3RD, SUITE 400
 PORTLAND, OR 97204

LANDSCAPE
 FISCHER BOUMA PARTNERSHIP
 310 MADISON AVENUE
 SOUTH, SUITE A
 BAINBRIDGE ISLAND, WA
 98110

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Client
BAINBRIDGE ISLAND FIRE DEPARTMENT
 8895 MADISON AVE. NE
 BAINBRIDGE, WA 98110

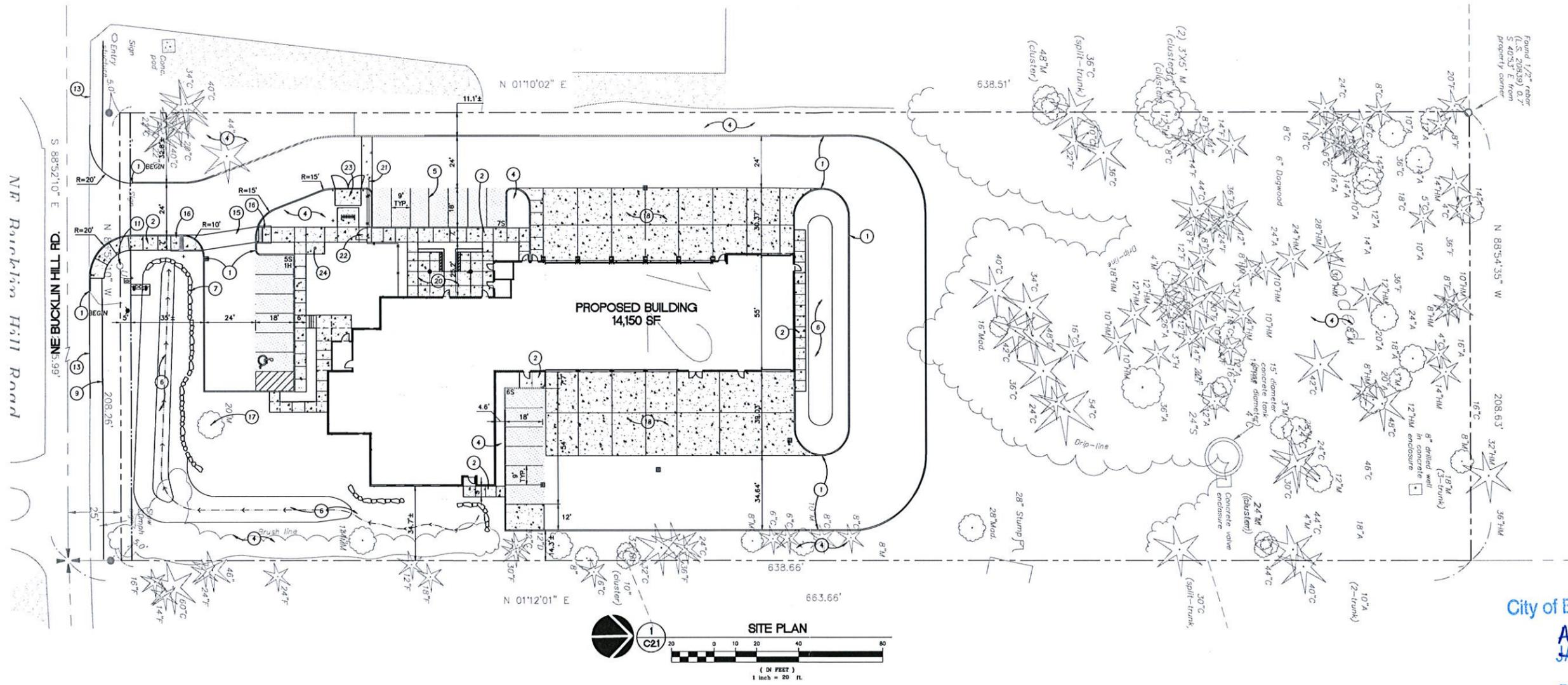
Project
**BAINBRIDGE ISLAND FIRE DEPT
 STATION 22**
 7934 BUCKLIN HILL RD. NE

REVISIONS	REVISIONS	REVISION	DELTA	CLOSING DATE
NO.	DATE	BY	DESCRIPTION	

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 CHECKED BY: TWM

SHEET TITLE
EXISTING CONDITIONS

SHEET
C1.0
 JOB NO. 2150124.00



City of Bainbridge Island
 APR 29
 JAN 15 2016
 Planning and
 Community Develo

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND THE REQUIREMENTS OF THE CITY OF BAINBRIDGE ISLAND AND THE CURRENT AMERICAN PUBLIC WORKS ASSOCIATION STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED TO MEET CITY OF BAINBRIDGE ISLAND REQUIREMENTS. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE ROUTED SO THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL.
- CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISH GRADES.
- EXCAVATION: EXCAVATE FOR SLABS, PAVING, AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. EXCAVATOR(S) SHALL NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS SEVENTY-TWO (72) HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. (ONE CALL LOCATE UTILITY NOTIFICATION CENTER - 1-800-332-2344).
- WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR TO ORDERING MATERIALS, THE CONTRACTOR SHALL EXPOSE THE END OF THE EXISTING PIPE VERIFY THE LOCATION, SIZE, AND ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- REQUEST BY THE CONTRACTOR FOR CHANGES TO THE PLANS MUST BE APPROVED BY THE ENGINEER.

CURB NOTE

ALL CURB RADII TO BE 2.5' UNLESS OTHERWISE NOTED

KEYNOTES

- CONCRETE VERTICAL CURB PER DETAIL 1/CB.0
- CONCRETE SIDEWALK PER DETAIL 2/CB.0
- ADA ACCESSIBLE PARKING STALL PER DETAIL 3/CB.0
- LANDSCAPE AREA, SEE LANDSCAPE PLANS
- 4" WIDE WHITE PARKING STRIPE
- STORMWATER FACILITY, SEE GRADING PLAN
- ROCK WALL, SEE GRADING PLAN
- TEMPORARY FACILITIES
- FUTURE 6' PAVED SHOULDER (CONSTRUCTION BY CITY OF BAINBRIDGE ISLAND)
- CHAIN LINK FENCE
- EXISTING POWER POLE TO REMAIN, PROTECT DURING CONSTRUCTION
- CONCRETE RISER, SEE GRADING PLAN
- EDGE OF ASPHALT
- TRANSFORMER
- 12" WHITE CROSSWALK STRIPE
- SIDEWALK RAMP PER DETAIL 8/CB.0 AND 9/CB.0
- EXISTING TREE TO REMAIN, PROTECT DURING CONSTRUCTION
- CONCRETE APRON, SEE PAVING LEGEND
- GENERATOR PAD
- PATIO AREA, SEE GRADING PLAN FOR DETAILS
- MOTORIZED ROLLING GATE
- PERSONNEL GATE
- TRASH ENCLOSURE
- FLAG POLE

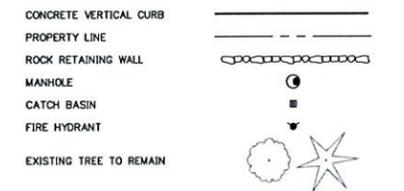
SITE DATA

SITE AREA	133,109 SF (3.06 AC)
BUILDING FOOTPRINT	13,422 SF
BUILDING COVERAGE	10.1%
LANDSCAPE AREA	81,993 SF (61.6%)

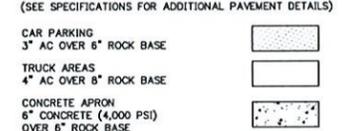
PARKING DATA

PARKING PROVIDED	18 SPACES
STANDARD	1 SPACE
ACCESSIBLE	0 SPACES
COMPACT	0 SPACES
TOTAL	19 SPACES (1.3/1,000)

LEGEND

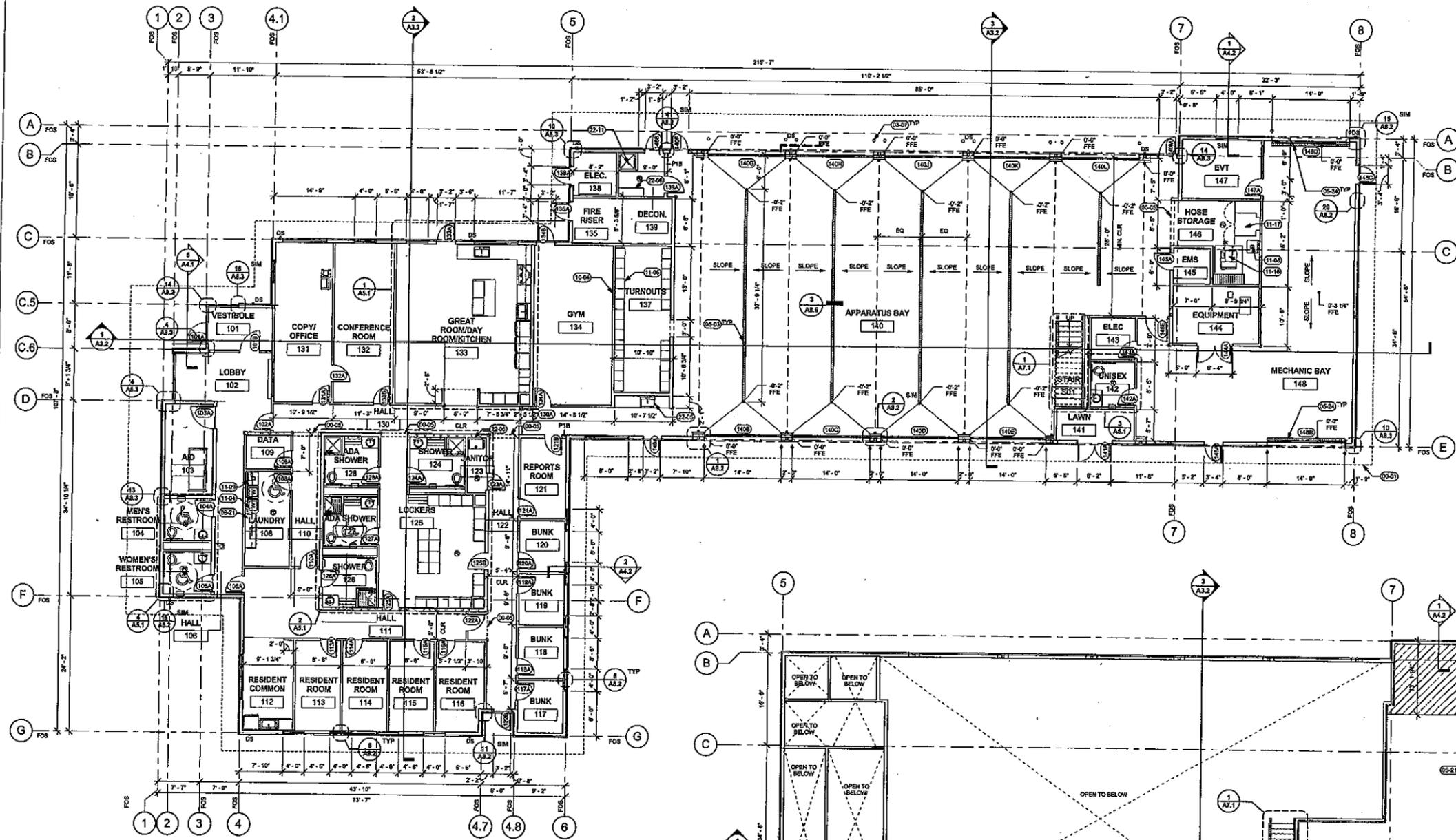


PAVEMENT LEGEND



ATTACHMENT G

<p>MECHANICAL/ELECTRICAL INTERFACE ENGINEERING 708 SW 3RD, SUITE 400 PORTLAND, OR 97204</p>	<p>LANDSCAPE FISHER BOUMA PARTNERSHIP 310 MADISON AVENUE SOUTH, SUITE A BAINBRIDGE ISLAND, WA 98110</p>	<p>MACKENZIE DESIGN DRIVEN CLIENT FOCUSED</p>	<p>Architecture • Interiors • Planning • Engineering</p> <p>Portland, OR 503.224.9560 Vancouver, WA 360.695.7879 Seattle, WA 206.749.9993</p>	<p>Client BAINBRIDGE ISLAND FIRE DEPARTMENT 8895 MADISON AVE. NE BAINBRIDGE, WA 98110</p>	<p>Project BAINBRIDGE ISLAND FIRE DEPT STATION 22 7934 BUCKLIN HILL RD. NE</p>	<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISIONS	DATE				<p>© MACKENZIE 2016. ALL RIGHTS RESERVED. THESE DRAWINGS ARE THE PROPERTY OF MACKENZIE AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.</p> <p>DRAWN BY: BTS CHECKED BY: TWM</p>	<p>SHEET TITLE: SITE PLAN</p> <p>SHEET C2.1</p> <p>JOB NO. 2150124.00</p>
NO.	REVISIONS	DATE												



1 FIRST FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN LEGEND

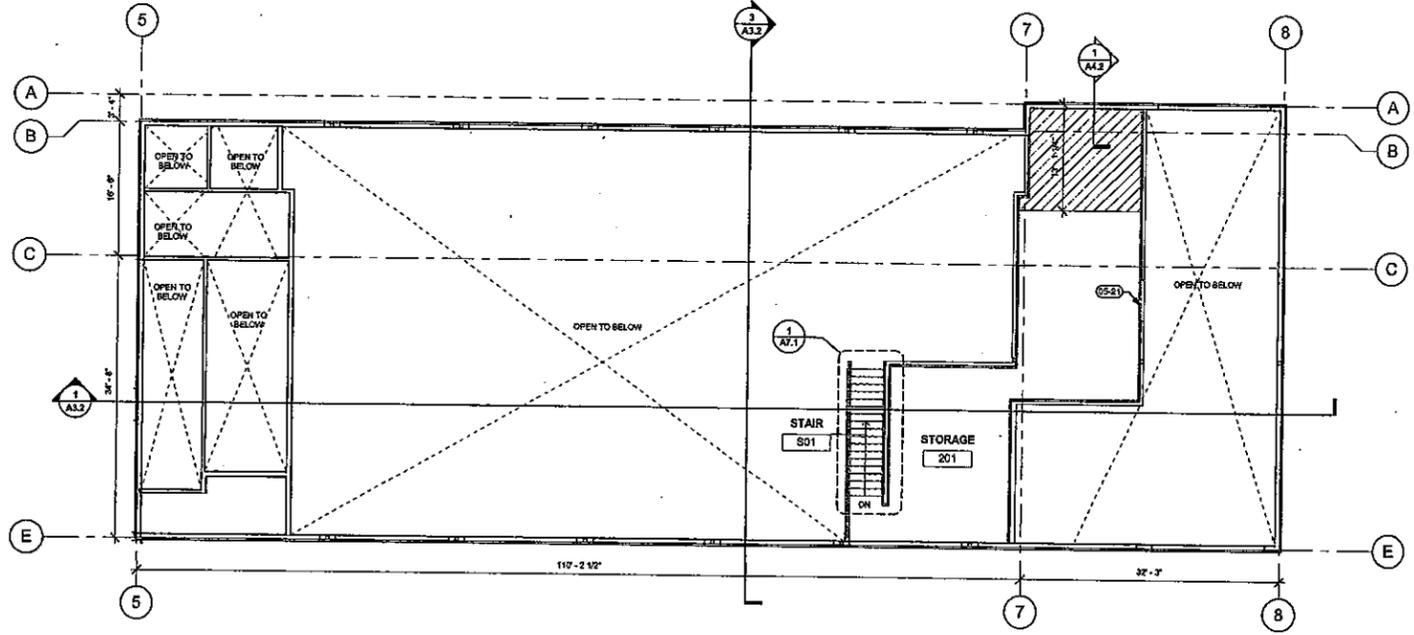
- EXTERIOR WALL - METAL PANEL ASSEMBLY
- EXTERIOR WALL - CONCRETE
- EXTERIOR WALL - NICHE ASSEMBLY
- INTERIOR 4" WALL
- INTERIOR 8" WALL
- INTERIOR GLAZING
- GRIDLINES
- KEYNOTES

GENERAL NOTES

- A. SEE PLANS AND DETAILS FOR PARTITION TYPE AND CONSTRUCTION
- B. SEE INDIVIDUAL FLOOR PLANS FOR ADDITIONAL INFORMATION
- C. SEE ELECTRICAL DRAWINGS FOR DOT LIGHTING
- D. EMERGENCY POWER PROVIDED BY GENERATOR ON SITE, SEE ELECTRICAL DRAWINGS

KEYNOTES

- 00-01 LINE OF CANOPY ABOVE
- 00-05 LINE OF SOFFIT ABOVE
- 03-07 CONCRETE BOLLARD, PAINTED, SEE DETAIL 414.8
- 05-03 TRENCH DRAIN, CENTER OF APPARATUS BAY
- 05-21 OPERABLE OR REMOVABLE GATE
- 05-24 TRENCH DRAIN
- 06-21 SOLID SURFACE COUNTERTOP (SS-2)
- 10-04 TEMPERED MIRROR
- 11-04 WASHER (OFD)
- 11-06 TURNDOWN STORAGE SYSTEM (OFD)
- 11-08 STACKED DRYER (OFD)
- 11-09 READER BOARD (OFD)
- 11-18 EXTRACTOR - SEE STRUCTURAL FOR THICKENED SLAB
- 11-17 HOSE DRYER
- 22-03 MOP SINK
- 22-06 UTILITY SINK
- 22-11 DECON SHOWER



2 MEZZANINE FLOOR PLAN
1/8" = 1'-0"

City of Bainbridge Island

OCT 18 2016

Planning and
Community Development

ATTACHMENT H

MECHANICAL/ELECTRICAL
INTERFACE ENGINEERING
708 SW 3RD, SUITE 400
PORTLAND, OR 97204

LANDSCAPE
FISCHER BOUMA PARTNERSHIP
310 MADISON AVENUE
SOUTH SUITE A
BAINBRIDGE ISLAND, WA
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8895 MADISON AVE. NE
BAINBRIDGE WA, 98110

Project
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7934 BUCKLIN HILL ROAD NE

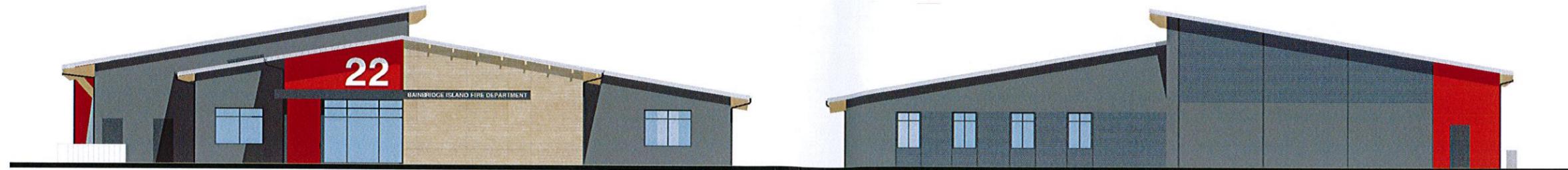


Revision Schedule	
Revision Date	Issue Date

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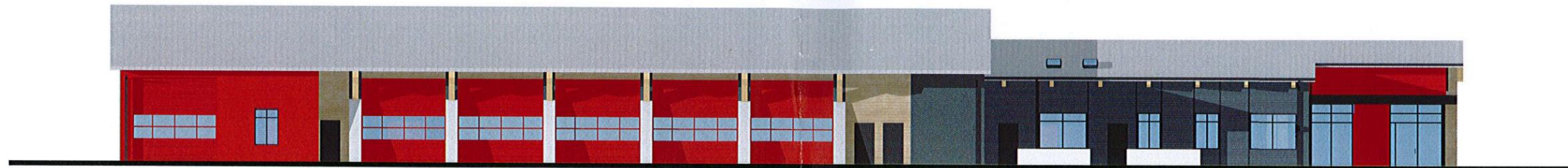
SHEET TITLE
FIRST & MEZZANINE FLOOR PLAN

SHEET
A2.1
JOB NO. 2150124.00

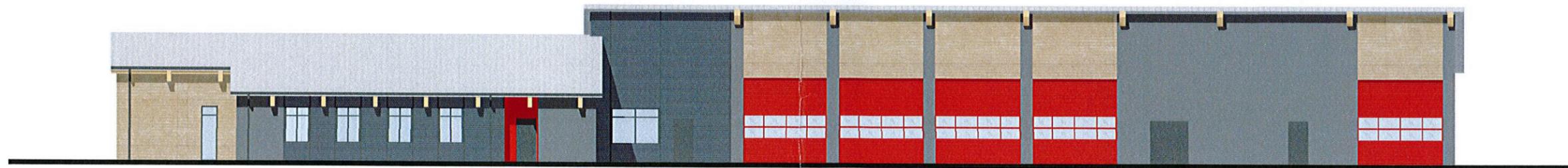


SOUTH ELEVATION

NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

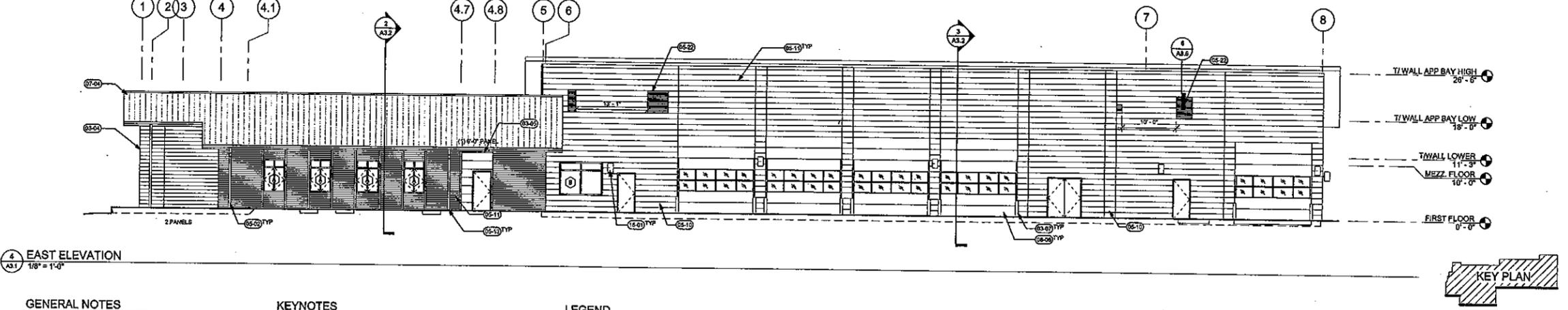
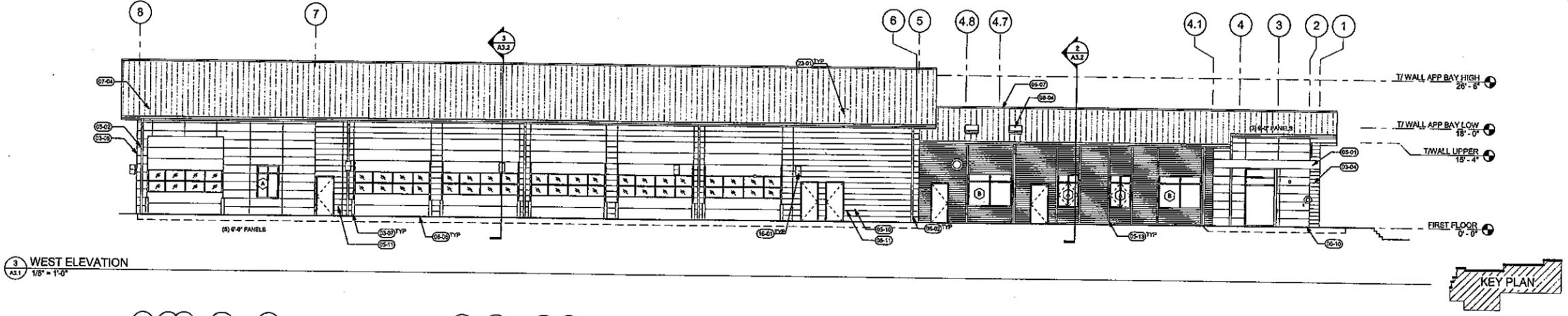
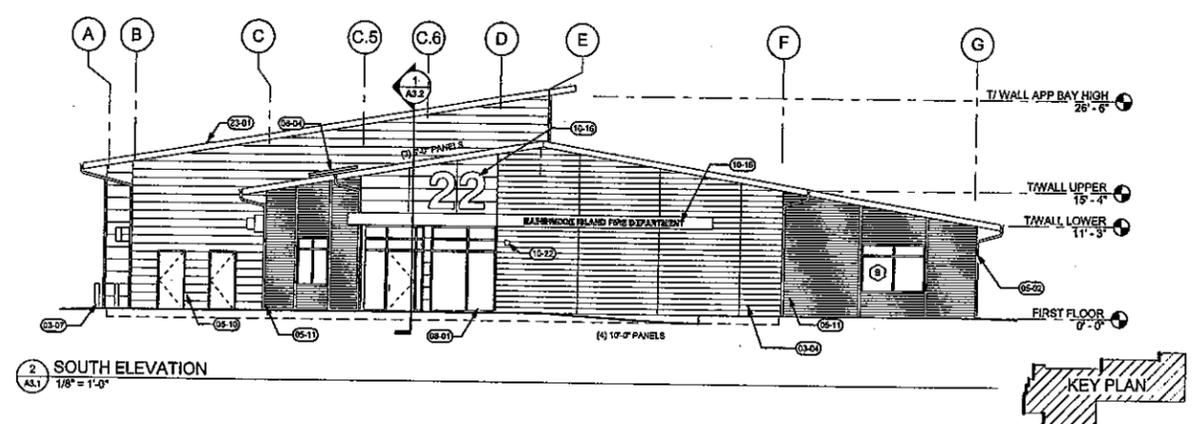
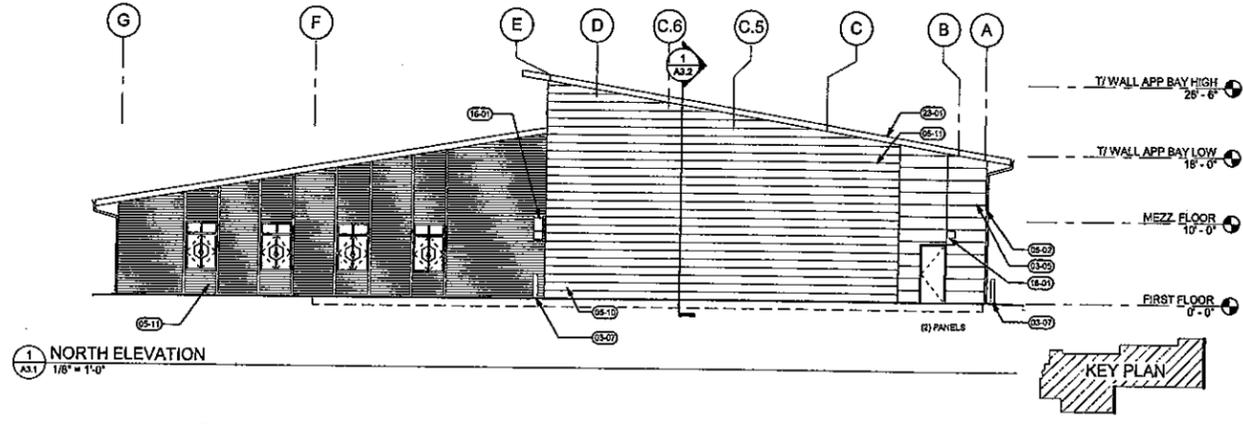
- Red Fiber Cement Board
- Wood Fiber Cement Board
- Flush Metal Panel / Corrugated Metal Panel

EXTERIOR ELEVATIONS

City of Bainbridge Island

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Planning and
Community Development



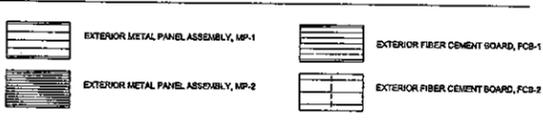
GENERAL NOTES

- A. SEE ELEVATIONS FOR EXTERIOR WINDOW TYPE DESIGNATION
- B. ELEVATION OF FINISH FLOOR ELEVATION AS INDICATED IN THE CIVIL DRAWINGS. FINISH GRADE VARIES AT BUILDING PERIMETER
- C. CONDITIONS, REFERENCE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND LAYOUT INFORMATION. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS
- D. REFER TO UNABBREV ELEVATIONS WHERE INDICATED
- E. SEE A3.2 FOR GLAZING SCHEDULE

KEYNOTES

- 03-04 EXTERIOR FIBER CEMENT BOARD ASSEMBLY, FCB-1
- 03-05 EXTERIOR FIBER CEMENT BOARD ASSEMBLY, FCB-2
- 03-07 CONCRETE SOLLARD, PAINTED. SEE DETAIL 4.1A.8
- 05-01 EXTERIOR STEEL CANOPY
- 05-02 METAL DOWNSPOUT PER DETAIL 7.1A.2
- 05-07 6" PREFINISHED METAL GUTTER W/ MIN. 1/8" PER FOOT SLOPE COORDINATE CONNECTION WITH PLUMBING AND CIVIL
- 05-10 EXTERIOR METAL PANEL ASSEMBLY - MP-1
- 05-11 EXTERIOR METAL PANEL ASSEMBLY - MP-2
- 05-13 BRASS METAL
- 05-22 METAL LOUVER
- 07-04 STANDING SEAM METAL ROOF ASSEMBLY, SEE DETAIL 1.1A.1
- 08-01 ALUMINUM-FRAMED STOREFRONT SYSTEM - SEE GLAZING SCHEDULE
- 08-04 SKYLIGHT, REFER TO DETAIL 2.1A.1
- 08-08 OVERHEAD SECTIONAL DOOR, SEE DOOR SCHEDULE
- 10-16 EXTERIOR SIGNAGE, SEE DETAIL 7.1A.6
- 10-22 EMERGENCY ACCESS KNOX BOX - VERIFY MOUNTING HEIGHT W/ OWNER PRIOR TO INSTALLATION. RECESS AND CUTIE BRICK AS REQUIRED FOR INSTALLATION
- 18-01 LIGHT FIXTURE (REFER TO ELECTRICAL)
- 23-01 ROOF TOP VENTILATOR - SEE MECHANICAL

LEGEND



City of Bainbridge Island

OCT 18 2016

Planning and
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MECHANICAL/ELECTRICAL
INTERFACE ENGINEERING
708 SW 3RD, SUITE 400
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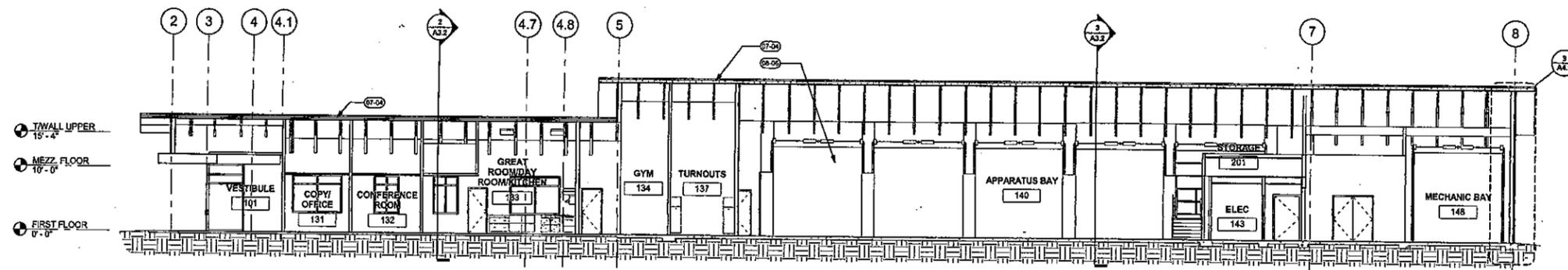
Revision Schedule	
Revision Date	Issue Date

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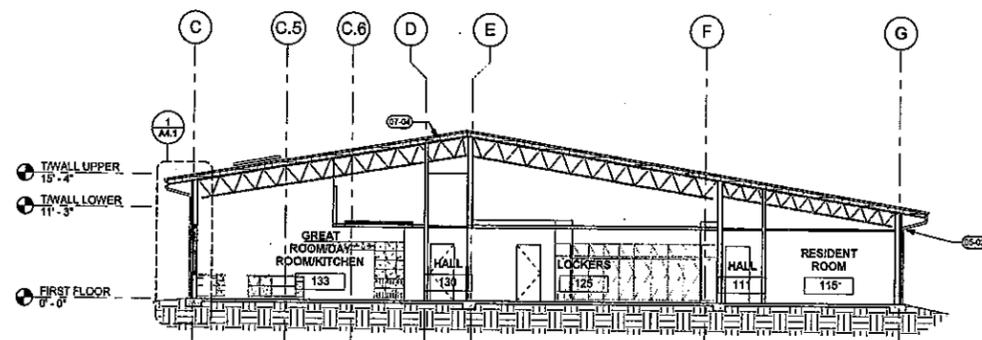
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BUILDING ELEVATIONS

A3.1

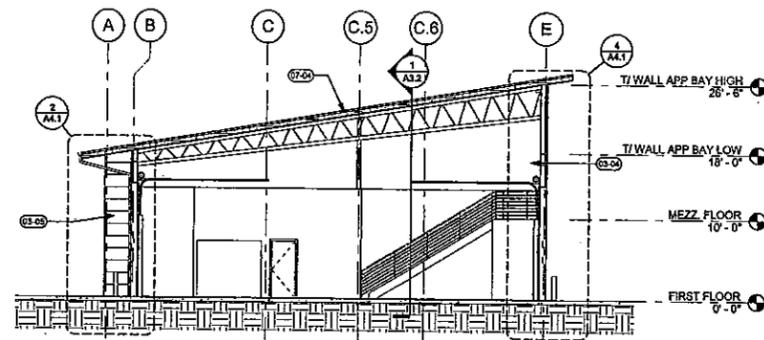
JOB NO. 2150124.00



1 BUILDING SECTION - NORTH/SOUTH
A3.2 1/8" = 1'-0"



2 BUILDING SECTION LOOKING NORTH
A3.2 1/8" = 1'-0"



3 BUILDING SECTION LOOKING NORTH
A3.2 1/8" = 1'-0"



GENERAL NOTES

- A. FINISH FLOOR ELEVATION (FF) MAIN FLOOR 0'-0" = 148.57
- B. FF ELEVATION AS INDICATED ON CIVIL PLANS
- C. ALL GLAZING SYSTEMS ARE ALUMINUM CASING UNLESS NOTED OTHERWISE
- D. ALL WALLS EXTEND TO STRUCTURE UNLESS NOTED OTHERWISE
- E. SEE A3.2 FOR GLAZING SCHEDULE
- F. SEE SALL.1 FOR TYPICAL SEALANT JOINT

KEYNOTES

- 03-04 EXTERIOR FIBER CEMENT BOARD ASSEMBLY, FCB-1
- 03-05 EXTERIOR FIBER CEMENT BOARD ASSEMBLY, FCB-2
- 05-02 METAL DOWNSPOUT PER DETAIL 7/AS.2
- 05-10 EXTERIOR METAL PANEL ASSEMBLY, MP-1
- 07-04 STANDING SEAM METAL ROOF ASSEMBLY, SEE DETAIL 1/AS.1
- 08-06 OVERHEAD SECTIONAL DOOR, SEE DOOR SCHEDULE

LEGEND

- EXTERIOR METAL PANEL ASSEMBLY, MP-1
- EXTERIOR METAL PANEL ASSEMBLY, MP-2
- EXTERIOR FIBER CEMENT BOARD, FCB-1
- EXTERIOR FIBER CEMENT BOARD, FCB-2
- WINDOW TYPE, SEE A3.2
- INTERIOR WINDOW TYPE, SEE A3.2

City of Bainbridge Island

OCT 18 2016

Planning and
Community Development

MECHANICAL/ELECTRICAL
INTERFACE ENGINEERING
706 SW 3RD, SUITE 400
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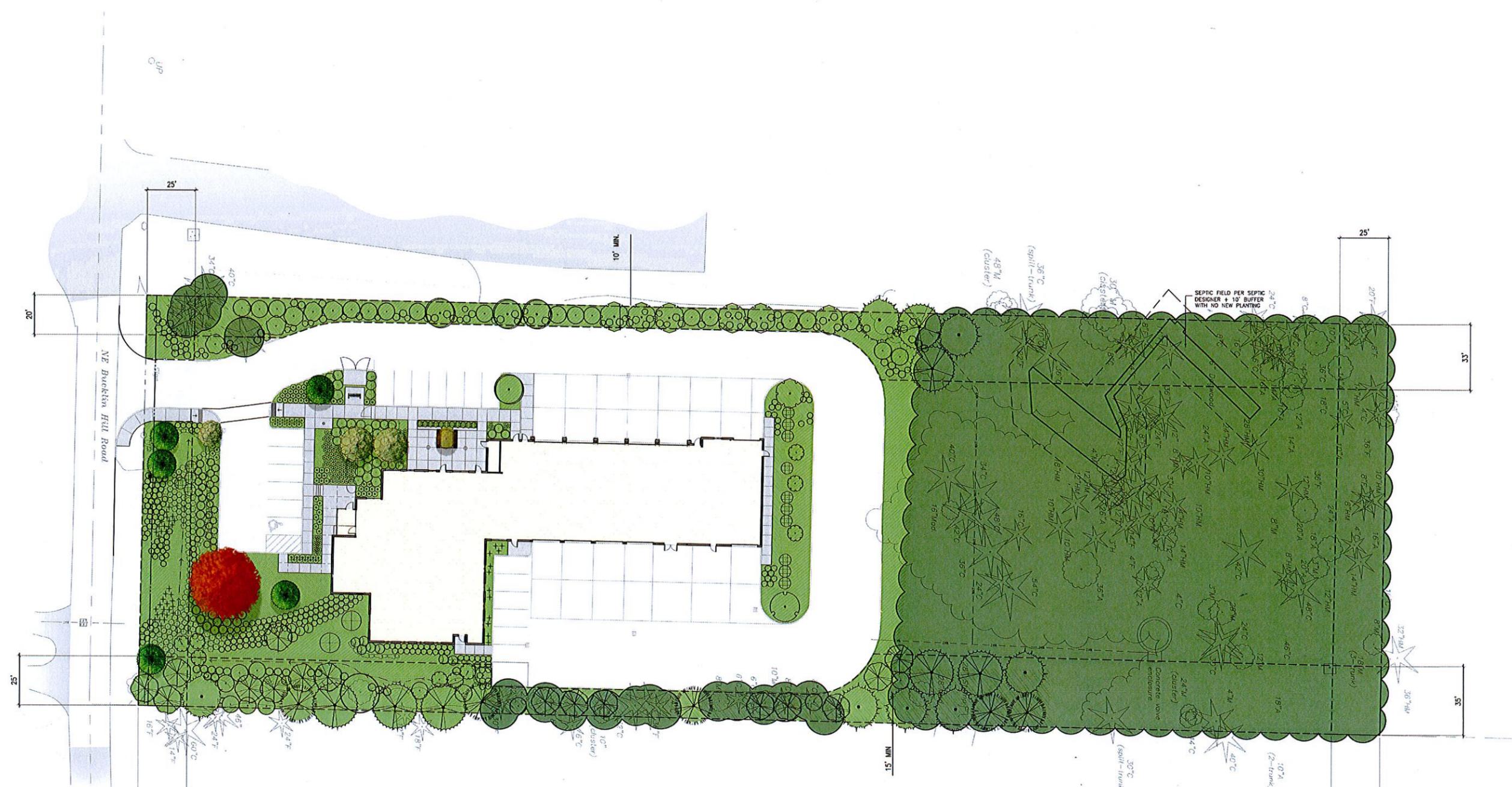


Revision Schedule	
Revision Delta	Issue Date

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DRAWN BY: COOJDR
CHECKED BY: BLH

SHEET TITLE:
BUILDING SECTIONS

SHEET
A3.2
JOB NO. 2150124.00



BUFFER REQUIREMENTS:

DIRECTION	ADJACENT ZONING	PERIMETER LANDSCAPE (18.015.010 D)	STREET FRONTAGE LANDSCAPE (18.015.010 E)
NORTH	R-1 (SFR)	25' AVG / 15' MIN (FS)	NA (no street)
WEST	R-1 (Am Legion)	20' AVG / 10' MIN (FS)	NA (no street)
SOUTH	R-0.4 (school)	NA b/c Bucklin Rd	25' AVG/ 15' MIN (PS) Bucklin
EAST	R-1 (SFR)	25' AVG / 15' MIN (FS)	NA (no street)

BUFFERS PROVIDED:

DIRECTION	LINEAR FEET	AVG WIDTH REQ	SQUARE FEET REQ'D FOR AVERAGING	SQUARE FEET PROVIDED
NORTH	208.6	25'	5,205 SF	5,205 SF
WEST	638.5	20'	12,770 SF	13,822 SF
SOUTH	208.6	25'	5,205 SF	4,417 SF + ROAD ACCESS
EAST	638.5	25'	15,963 SF	16,574 SF

LANDSCAPE PLAN
1"=20'-0"



<p>MECHANICAL/ELECTRICAL INTERFACE ENGINEERING 708 SW 3RD, SUITE 400 PORTLAND, OR 97204</p>	<p>LANDSCAPE FISCHER BOUMA PARTNERSHIP 310 MADISON AVENUE SOUTH, SUITE A BAINBRIDGE ISLAND, WA 98110</p>	<p>Architecture • Interiors • Planning • Engineering Client</p> <p>Portland, OR 503.224.9560 Vancouver, WA 360.695.7879 Seattle, WA 206.749.9993</p> <p>MACKENZIE. DESIGN DRIVEN CLIENT FOCUSED</p>	<p>BAINBRIDGE ISLAND FIRE DEPARTMENT 8895 MADISON AVE. NE BAINBRIDGE ISLAND, WA 98110</p>	<p>Project</p> <p>BAINBRIDGE ISLAND FIRE DEPT STATION 22</p>	<p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	DATE				<p>© MACKENZIE AND ALL RIGHTS RESERVED. THESE DRAWINGS ARE THE PROPERTY OF MACKENZIE AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.</p> <p>DRAWN BY: _____ CHECKED BY: _____</p>	<p>SHEET TITLE:</p> <p>ILLUSTRATIVE LANDSCAPE PLAN</p>	<p>SHEET</p> <p>L0.0</p> <p>JOB NO. 2150124.00</p>
NO.	REVISION	DATE												

Tree Retention Analysis

Project: BIFD -Station 22
 Performed by: Fischer Bouma Partnership
 Date: Revised 4/19/2016

REQUIRED TREE UNITS

PROJECT SITE: 2.18 Acres (Excludes Buffer Area of 0.88 acres) 3.06 total acres minus 0.88 buffer acres
 CURRENT TOTAL TREE UNITS: 239.2 TUs (Excludes Buffers, unless tree is removed in buffer)
 CURRENT TREE UNITS PER ACRE: 109.7 TUs/AC (Excludes Buffers)
 TOTAL TREE UNITS REQUIRED: 87.2 Total per 18.15.010.G.4.iii (40 per acre)

SUMMARY OF TREE UNITS RETAINED & NEW REQUIRED

TREE UNITS RETAINED (SEE DATA BELOW): 95.4
 NEW TREE UNITS REQUIRED (MIN.): 0.0

TREE UNIT DESIGNATIONS PER CODE

Table 18.15.010-7: Tree Unit Conversion Table for Preserved Trees

DBH	Tree Units	KEY:
0-2	0.0	
3-5	1.0	Retained
6-10	1.2	
11-12	1.4	Removed
13-15	2.0	
16-18	3.2	
19-20	3.8	Not required to be retained outside of screens/buffers
21-23	4.6	
24-26	6.2	
27-28	7.0	
29-30	7.8	
30+	8.2	

DATA

Notes:

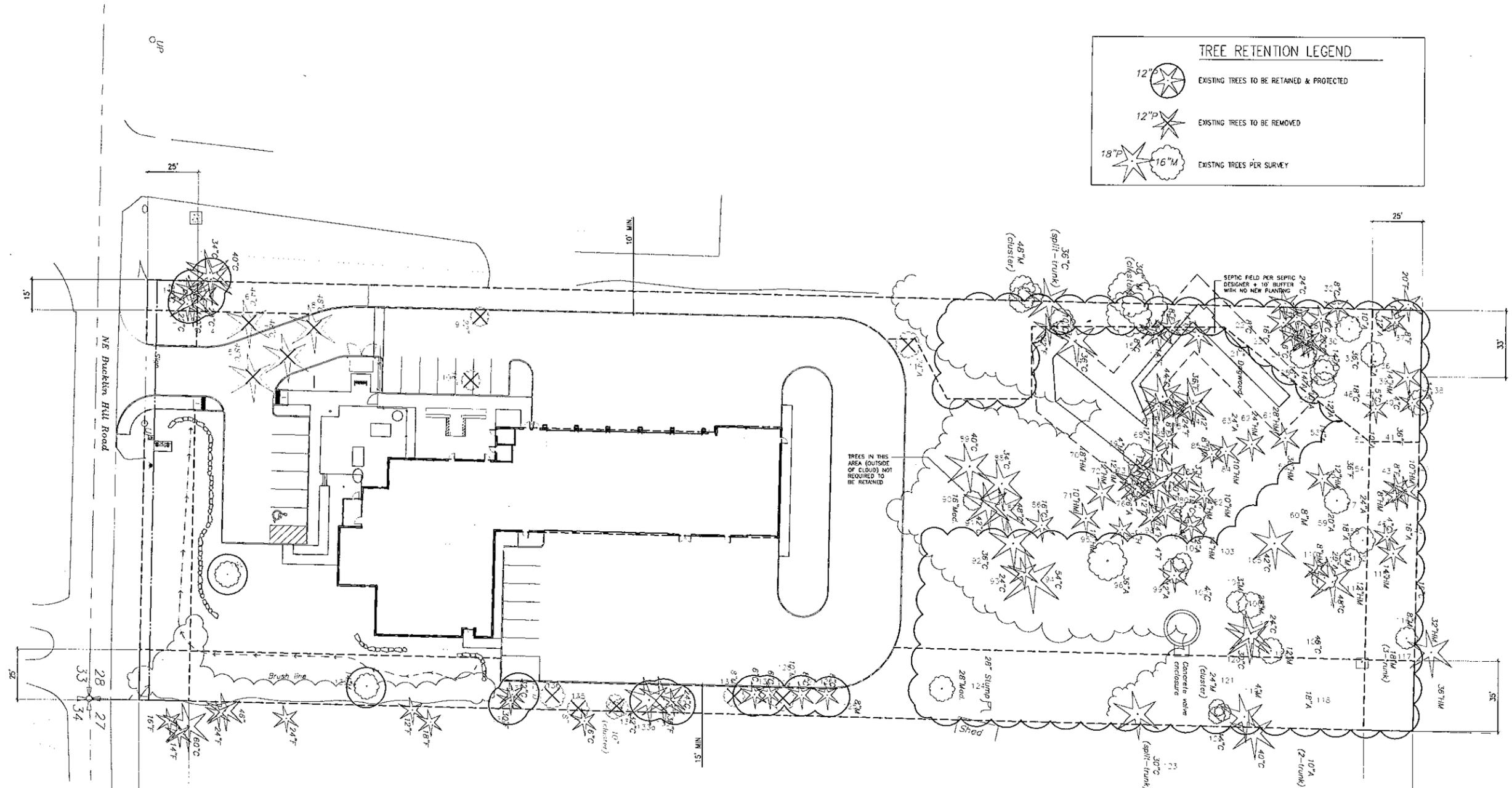
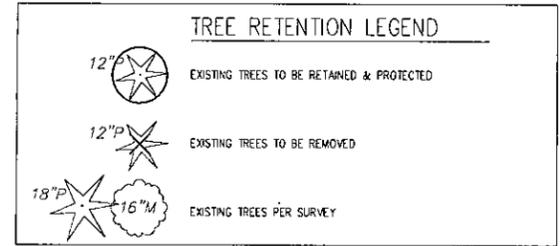
Trees within buffers are listed below but the tree units associated with each are not calculated as TU's retained (unless they need to be removed, see arborist report)
 Trees potentially impacted by development were assessed by Katy Bigelow, Arborist, on April 13, 2016 and recommendations incorporated into this spreadsheet

Tree No.	Species	Size (DBH)	TU Retained	TU Removed	be Retained	Notes
001	Cedar	22	0.0	0.0		Buffer
002	Cedar	22	0.0	0.0		Buffer
003	Cedar	40	0.0	0.0		Buffer
004	Cedar	20	0.0	0.0		Buffer
005	Cedar	48	0.0	8.2		
006	Cedar	44	0.0	8.2		
007	Cedar	48	0.0	8.2		
008	Cedar	48	0.0	8.2		
009	Plum	22	0.0	4.6		
010	Plum	16	0.0	0.0		Blown over- observed by arborist 4/13/2016, not included in calc.
011	Alder	24	0.0	6.2		
012	Fir	22	0.0	0.0	4.6	
013		10	0.0	0.0		Buffer
014	Cedar	36	0.0	0.0	8.2	
015	Cedar	8	0.0	0.0	1.2	
016	Fir	14	0.0	0.0	2.0	
017	Cedar	44	0	0.0	8.2	
018	Fir	36	0	0.0	8.2	
019	Dogwood	8	0.0	0.0		Buffer
020	Cedar	14	0.0	0.0	2.0	
021	Cedar	6	0.0	0.0		Buffer
022	Cedar	8	0.0	0.0		Buffer
023	Alder	16	0.0	0.0		Buffer
024	Cedar	6	0.0	0.0		Buffer
025	Cedar	16	0.0	0.0		Buffer
026	Cedar	6	0.0	0.0		Buffer
027	Cedar	10	0.0	0.0		Buffer
028	Cedar	16	0.0	0.0		Buffer
029	Alder	14	0.0	0.0		Buffer
030	Cedar	20	0.0	0.0		Buffer
031	Cedar	8	0.0	0.0		Buffer
032	Cedar	8	0.0	0.0		Buffer
033	Cedar	36	0.0	0.0		Buffer
034	Alder	10	0.0	0.0		Buffer
035	Alder	12	0.0	0.0		Buffer
036	Alder	14	0.0	0.0		Buffer
037	Fir	8	0.0	0.0		Buffer
038	Alder	14	0.0	0.0		Buffer
039	Hemlock	14	0.0	0.0		Buffer
040	Cedar	4	0.0	0.0		Buffer
041	Fir	36	0.0	0.0		Buffer
042	Hemlock	10	0.0	0.0		Buffer
043	Fir	8	0.0	0.0		Buffer
044	Hemlock	8	0.0	0.0		Buffer
045	Alder	16	0.0	0.0		Buffer

046	Cedar	4	0.0	0.0		Buffer
047	Cedar	5	0.0	0.0		Buffer
048	Cedar	18	0.0	0.0		Buffer
049	Alder	14	0.0	0.0		Buffer
050	Alder	10	0.0	0.0		Buffer
051	Alder	12	0.0	0.0		Buffer
052	Alder	10	0.0	0.0		Buffer
053	Alder	14	0.0	0.0		Buffer
054	Fir	36	8.2	0.0		
055	Hemlock	12	1.4	0.0		
056	Hemlock	30	7.8	0.0		
057	Alder	24	6.2	0.0		
058	Alder	18	3.2	0.0		
059	Alder	20	3.8	0.0		
060	Maple	8	1.2	0.0		
061	Hemlock	28	0.0	0.0	7.0	
062	Hemlock	24	0.0	0.0	6.2	
063	Alder	24	0.0	0.0	6.2	
064		12	0.0	0.0	1.4	
065	Fir	24	0.0	0.0	6.2	
066	Fir	8	0.0	0.0	1.2	
067	Fir	8	0.0	0.0	1.2	
068	Fir	12	0.0	0.0	1.4	
069	Maple	4	0.0	0.0	1.0	
070	Hemlock	18	0.0	0.0	3.2	
071	Hemlock	10	0.0	0.0	1.2	
072	Hemlock	12	0.0	0.0	1.4	
073	Hemlock	12	0.0	0.0	1.4	
074	Maple	12	0.0	0.0	1.4	
075	Fir	30	0.0	0.0	7.8	
076	Alder	26	0.0	0.0	6.2	
077	Cedar	12	0.0	0.0	1.4	
078	Fir	30	0.0	0.0	7.8	
079	Fir	10	0.0	0.0	1.2	
080	Cedar	16	0.0	0.0	3.2	
081	Hemlock	4	0.0	0.0	1.0	
082	Hemlock	10	0.0	0.0	1.2	
083	Holly	3	0.0	0.0	0.0	Invasive- Remove, not included in calcs
084	Hemlock	10	0.0	0.0	1.2	
085	Hemlock	8	0.0	0.0	1.2	
086	Cedar	16	0.0	0.0	1.2	
087	Cedar	48	0.0	0.0	3.2	
088	Cedar	34	0.0	0.0	8.2	
089	Cedar	40	0.0	0.0	8.2	
090	Madrona	16	0.0	0.0	8.2	
091	Cedar	42	0.0	0.0	3.2	
092	Cedar	36	8.2	0.0		
093	Cedar	24	8.2	0.0		
094	Cedar	54	6.2	0.0		
095	Hemlock	10	0.0	0.0	8.2	
096	Hemlock	36	1.2	0.0		
097	Holly	3	0.0	0.0	8.2	
098	Fir	14	0.0	0.0	1.0	
099	Alder	12	1.4	0.0		
100	Fir	4	0.0	0.0	1.0	
101	Alder	12	1.4	0.0		
102	Cedar	4	1.0	0.0		
103	Hemlock	14	2.0	0.0		
104	Maple	3	1.0	0.0		
105	Cedar	42	8.2	0.0		
106	Maple	28	7.0	0.0		
107	Cedar	24	6.2	0.0		
108	Maple	12	1.4	0.0		
109	Cedar	46	8.2	0.0		
110	Hemlock	8	1.2	0.0		
111	Alder	20	3.8	0.0		
112	Maple	3	1.0	0.0		
113	Cedar	48	8.2	0.0		
114	Hemlock	12	1.4	0.0		
115	Hemlock	14	0.0	0.0		Buffer
116	Maple	8	0.0	0.0		Buffer
117	Maple	18	0.0	0.0		Buffer
118	Alder	18	0.0	0.0		Buffer
119	Maple	4	0.0	0.0		Buffer
120	Cedar	30	7.8	0.0		
121	Maple	24	0.0	0.0		Buffer
122	Cedar	44	0.0	0.0		Buffer
123	Cedar	30	0.0	0.0		Buffer
124	Madrona	28	0.0	0.0		Buffer
125	Lilac Shrub	8	0.0	0.0		Buffer- Shrub per arborist, not included in calcs
126	Yellow Arborvitae	8	0.0	0.0		Buffer- Shrub per arborist, not included in calcs
127	Yellow Arborvitae	8	0.0	0.0		Buffer- Shrub per arborist, not included in calcs
128	Maple	10	0.0	1.2		Buffer
129	Yellow Arborvitae	6	0.0	0.0		Buffer- Shrub per arborist, not included in calcs
130	Yellow Arborvitae	6	0.0	0.0		Buffer- Shrub per arborist, not included in calcs
131	Maple	8	0.0	1.2		Buffer
132	Cedar	24	0.0	0.0		Buffer

133	Fir	36	0.0	0.0	Buffer
133a	Cedar	32	0.0	0.0	Buffer
134	Willow	10	0.0	0.0	Buffer- remove per arborist visit 4/13/2016
135	Willow	8	0.0	0.0	Buffer- remove per arborist visit 4/13/2016
136	Willow	12	0.0	0.0	Buffer- remove per arborist visit 4/13/2016
137	Cedar	32	0.0	0.0	Buffer
138	Fir	30	0.0	0.0	Buffer
139	Elm	14	0.0	0.0	Buffer
139a	Maple	14	0.0	0.0	Buffer- not on survey. Remove per arborist visit 4/13/2016
140	Japanese Maple	20	3.8	0.0	

	RETAINED	REMOVED	Not Req'd	TOTAL
TOTAL TREE UNITS (not in buffers):	95.4	45.0	97.8	239.2



BUFFER REQUIREMENTS:

DIRECTION	ADJACENT ZONING	PERIMETER LANDSCAPE (18.015.010 D)	STREET FRONTAGE LANDSCAPE (18.015.010 E)
NORTH	R-1 (SFR)	25' AVG / 15' MIN (FS)	NA (no street)
WEST	R-1 (Am Legion)	20' AVG / 10' MIN (FS)	NA (no street)
SOUTH	R-0.4 (school)	NA b/c Bucklin Rd	25' AVG / 15' MIN (PS) Bucklin
EAST	R-1 (SFR)	25' AVG / 15' MIN (FS)	NA (no street)

BUFFERS PROVIDED:

DIRECTION	LINEAR FEET	AVG WIDTH REQ	SQUARE FEET REQ'D FOR AVERAGING	SQUARE FEET PROVIDED
NORTH	208.6	25'	5,205 SF	5,205 SF
WEST	638.5	20'	12,770 SF	12,968 SF
SOUTH	208.6	25'	5,205 SF	4,417 SF + ROAD ACCESS
EAST	638.5	25'	15,963 SF	16,574 SF

ATTACHMENT N

TREE RETENTION PLAN
1" = 20'-0"



<p>MECHANICAL/ELECTRICAL INTERFADE ENGINEERING 708 SW 3RD, SUITE 400 PORTLAND, OR 97204</p>	<p>LANDSCAPE FISCHER BOUMA PARTNERSHIP 310 MADISON AVENUE SOUTH, SUITE A BAINBRIDGE ISLAND, WA 98110</p>	<p>MACKENZIE DESIGN DRIVEN CLIENT FOCUSED</p>	<p>Architecture • Interiors • Planning • Engineering</p> <p>Client BAINBRIDGE ISLAND FIRE DEPARTMENT 8895 MADISON AVE. NE BAINBRIDGE ISLAND, WA 98110</p>	<p>Project BAINBRIDGE ISLAND FIRE DEPT STATION 22</p>		<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS PER COMMENT</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>04/20/16</td> <td>REVISIONS PER COMMENT</td> </tr> </tbody> </table>	NO.	DATE	REVISIONS PER COMMENT	1	04/20/16	REVISIONS PER COMMENT	<p>© 2016 INVENTOR. ALL RIGHTS RESERVED. THESE DRAWINGS ARE THE PROPERTY OF MACKENZIE AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.</p> <p>DRAWN BY: UP</p> <p>CHECKED BY: JB</p>	<p>SHEET TITLE: TREE RETENTION PLAN</p>	<p>SHEET L1.0</p> <p>JOB NO. 2150124.00</p>
NO.	DATE	REVISIONS PER COMMENT													
1	04/20/16	REVISIONS PER COMMENT													

PLANT SCHEDULE

TREES							GROUND COVERS						
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	
ABI GRA	5	ABIES GRANDIS	GRAND FIR	1/4		6' H.T.		ARC UVA	2,156	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'	MASSACHUSETTS KINNICKINICK	4" POT	24" c.c.
ACE CR	16	ACER CIRCINATUM	WINE MAPLE	B & B		2" CAL.		CAR GBM	397	CAREX OBLIQUA	SLOUGH SEDGE	PLUG	18" c.c.
ACE MON	7	ACER GINNALIA 'MOND'	RED Rhapsody AMUR MAPLE	B & B		2" CAL.		DRY BR	16	DRYOPTERIS ERYTHROSCA 'BRILLIANCE'	AUTUMN FERN	4" POT	24" c.c.
ACE RJB	1	ACER RUBRUM 'ARMS' TONG'	ARMS' TONG RED MAPLE	B & B		2" CAL.		JUN PAT	382	JUNCUS PATENS	CALIFORNIA GRAY RUSH	4" POT	24" c.c.
BET LIT	9	BETULA NIGRA 'LITTLE KING' TM	FOX VALLEY BIRCH	B & B		2" CAL.		LON PIL	46	LONGERA PLEATA	PRYET HONEYBUCKLE	1 GAL	48" c.c.
CER OCC	4	CERCIS OCCIDENTALIS	WESTERN REDBUD	B & B		2" CAL.		MAH REP	262	MAHONIA REPENS	CREEPING MAHONIA	4" POT	36" c.c.
CHI FR	2	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE	B & B		2" CAL.		OPH LAP	1,262	OPHIOPOGON JAPONICUS	MONDO GRASS	4" POT	12" c.c.
COR KN3	4	CORNUS X 'KX 38-8'	VENUS DOGWOOD	1/4		2" CAL.		POL ML2	585	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	4" POT	42" c.c.
PIN THU	5	PINUS T-JUNBERGII 'T-UNDER-EAD'	THUNDER-HEAD SCOTCH PINE	1/4		6' H.T.		RUB EME	762	RUBUS CALYCINODES 'EMERALD CARPET'	EMERALD CARPET CREEPING RASPBERRY	4" POT	36" c.c.
PRU AMA	1	PRUNUS SERRULATA 'AMANOYAWA'	JAPANESE FLOWERING CHERRY	B & B		2" CAL.							
PRU TA	2	PRUNUS SERRULATA 'TAZO'	ANGELS BLUSH FLOWERING CHERRY	B & B		2" CAL.							
PSE DOU	7	PSEUDOTSUGA MENZESII	DOUGLAS FIR	1/4	1/4	6' H.T.							
THJ GRE	38	THUJA OCCIDENTALIS 'GREEN GANT'	GREEN GANT ARBORVITAE	1/4		6' H.T.							
THJ PU	7	THUJA PLICATA	WESTERN RED CEDAR	1/4	1/4	6' H.T.							

SHRUBS						
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
COR CAR	14	CORNUS STOLONIFERA 'CARDINAL'	CARDINAL RED TWIG DOGWOOD	3 CAL.		
COR FAR	13	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	1 GAL		
DAP CAR	6	DAPHNE X BURKWOODII 'CAROL MACKIE'	CAROL MACKIE DAPHNE	2 GAL.		
GAJ SA	171	GAULTHERIA SALICINA	SALAL	1 GAL		
HAM ARN	2	HAMAMELIS X INTERMEDIA 'ARNOLD PROMISE'	ARNOLD PROMISE HYBRID WITCH HAZEL	3 CAL.		
HEL YEL	26	HELLEBORUS X 'YELLOW'	YELLOW HELLEBORE	1 GAL		
HOS RED	8	HOSTA X 'RED OCTOBER'	RED OCTOBER HOSTA	1 GAL		
MAH ADJ	68	MAHONIA AQUIFOLIUM	OREGON GRAPE	1 GAL		
MAH COM	184	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	1 GAL		
NAV GUL	86	NANDINA DOMESTICA 'GULF STREAM' TM	HEAVENLY BAMBOO	3 CAL.		
PIE BRO	11	PERIS JAPONICA 'BROUWER'S BEAUTY'	LILY OF THE VALLEY BUSH	3 CAL.		
PIE FOR	13	PERIS JAPONICA 'FOREST FLAME'	FOREST FLAME LILY OF THE VALLEY BUSH	3 CAL.		
POD RED	7	PODOCARPUS LAWRENCEI 'RED TIP'	MOUNTAIN PLUM PINE	3 CAL.		
POL MUN	46	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL		
RHA RUF	17	RHAPHIGOLEPS JIMBELATA 'RUF-BAFFI'	SOUTHERN MOON YEWDA HAWTHORN	3 CAL.		
RHO CR	69	RHODODENDRON AZALEA 'HINO CRIMSON'	HINO CRIMSON AZALEA	2 CAL.		
RHO PAC	12	RHODODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON	3 CAL.		
RHO CHI	34	RHODODENDRON X CHIONODES	CHIONODES RHODODENDRON	3 CAL.		
THU NAV	36	THUJOPSIS DOLABRATA 'NAVA'	DEER-OAK CEDAR	3 CAL.		
VAC OVA	31	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	1 GAL		

PLANTING NOTES

- SEE PLANT SCHEDULES FOR SPECIES, QUANTITIES, AND MINIMUM SPACING. SEE PLANTING DETAILS FOR INSTALLATION AND LAYOUT.
- CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SOIL AMENDMENTS AND CONDITIONERS IN SOIL PREPARATION AND FINISH GRADING.
- ALL CONSTRUCTION MATERIAL SHALL BE EXCLUDED FROM TOPSOIL.
- LAYOUT FOR ALL PLANTING AREAS TO BE VERIFIED ON SITE BY LANDSCAPE ARCHITECT DUE TO VARYING FIELD CONDITIONS AND DENSITIES OF EXISTING VEGETATION.
- ALL PLANT MATERIAL SHALL CONFORM TO ANSI STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- LANDSCAPE ARCHITECT WILL SUPERVISE THE PLANTING PROCESS. MODIFICATIONS TO THE PLANTING PLAN MAY OCCUR BASED ON FIELD CONDITIONS AND THE AVAILABILITY OF PLANT MATERIAL.
- PLANTINGS WILL BE B&B AND CONTAINERIZED NATIVE PLANT MATERIAL, AS APPROPRIATE AND SPECIFIED, FROM REGIONAL GENETIC STOCK. PLASTIC NURSERY IDENTIFICATION TAGS WILL BE ATTACHED TO THE STEM OF EACH PLANTING.
- LOCAL NURSERY STOCK WILL BE USED TO ENSURE THAT THE MATERIAL HAS ACCLIMATED TO LOCAL CONDITIONS (REDUCING PLANTING STRESS) AND IS GENETICALLY COMPARABLE WITH PLANTS IN THE LOCAL AREA.
- FINAL PLANT LISTS WILL BE CONTINGENT UPON PLANT AVAILABILITY. IF SELECTED SPECIES ARE UNAVAILABLE FROM LOCAL NURSERIES THEN UPON PRIOR APPROVAL OTHER GENUS OR SPECIES WITH SIMILAR HYDROLOGICAL REQUIREMENTS MAY BE SUBSTITUTED.
- TREES WILL BE STAKED ONLY IF A PLANT CANNOT STAND ALONE IN A MODERATE WIND PER PLANTING DETAILS.
- ALL PLANTINGS WILL BE MULCHED WITH A MINIMUM OF 3 INCHES OF ORGANIC MULCH AS SPECIFIED TO DISCOURAGE WEED GROWTH, MINIMIZE SOIL EROSION, AND RETAIN MOISTURE. THE MULCH IS NOT TO MAKE CONTACT WITH THE PLANT STEM.
- DO NOT DISTURB TREES AND VEGETATION OUTSIDE LIMIT OF WORK.
- IF TREES HAVE NOT BEEN DESIGNATED AS SAVE OR REMOVE ON DEMO OR OTHER PLANS IT SHOULD BE ASSUMED THAT THEY ARE TO BE SAVED.
- THE ENTIRE WIDTH OF THE PLANTING ISLANDS SHALL CONTAIN ONLY SOIL, AND BY WAY OF ILLUSTRATION ONLY AND NOT LAYOUT, BE FREE OF GRAVEL, CONCRETE, CONSTRUCTION DEBRIS, OR OTHER FOREIGN MATERIALS.
- ALL PLANTING AREAS TO BE IRRIGATED - IRRIGATION PLANS ARE NOT INCLUDED. IRRIGATION WILL BE DESIGN/BUILD BY CONTRACTOR BASED ON PERFORMANCE SPECIFICATIONS PROVIDED.
- DO NOT DIG BEFORE LOCATING UTILITIES.
- ALL LANDSCAPE AREAS DESIGNED FOR INSTALLATION OF TREES SHALL HAVE A MINIMUM SOIL DEPTH OF 18" PLUS 8" SCARIFIED SUBGRADE. MINIMUM SOIL DEPTH SHALL INCLUDE SOILS THAT MEET SOIL SPECIFICATIONS.
- FOR ALL TOPSOIL, THE CONTRACTOR SHALL OBTAIN A LANDSCAPE SOIL ANALYSIS CERTIFYING THAT THE SOIL MEETS THE SOIL SPECIFICATIONS. THE CERTIFICATION SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT AND APPROVED PRIOR TO SOIL DELIVERY.
- APPLY 3" DEPTH OF ORGANIC BARK MULCH IN ALL PLANTING AREAS. MULCH TO BE FREE OF WEED SEED, SANDUST, RESIN OR TANNIN, AND SHALL NOT CONTAIN ANY COMPOUNDS DETRIMENTAL TO PLANT GROWTH. PULL MULCH 3" AWAY FROM BASE OF PLANT.
- ALL PLANT MATERIAL SHOULD BE DISEASE FREE AND ARRIVE IN A VIGOROUS GROWING CONDITION.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN THE SITE UNTIL FINAL INSPECTION AND ACCEPTANCE BY THE OWNER.
- ALL LANDSCAPE INSTALLATION TO BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- A PRE-CONSTRUCTION CONFERENCE PRIOR TO THE START OF ANY LANDSCAPE CONSTRUCTION IS REQUIRED.
- PLANTS SHALL BE INSPECTED PRIOR TO PLANTING TO VERIFY CONFORMANCE WITH PLANTING SIZE AND OTHER REQUIREMENTS.
- ALL LANDSCAPING SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE BY THE OWNER. PRIOR TO THE END OF THE WARRANTY PERIOD, THE LANDSCAPE WILL BE INSPECTED AND DEAD OR UNHEALTHY PLANTS WILL BE REQUIRED TO BE REPLACED WITH SAME SPECIES AND SIZES.

GENERAL NOTES

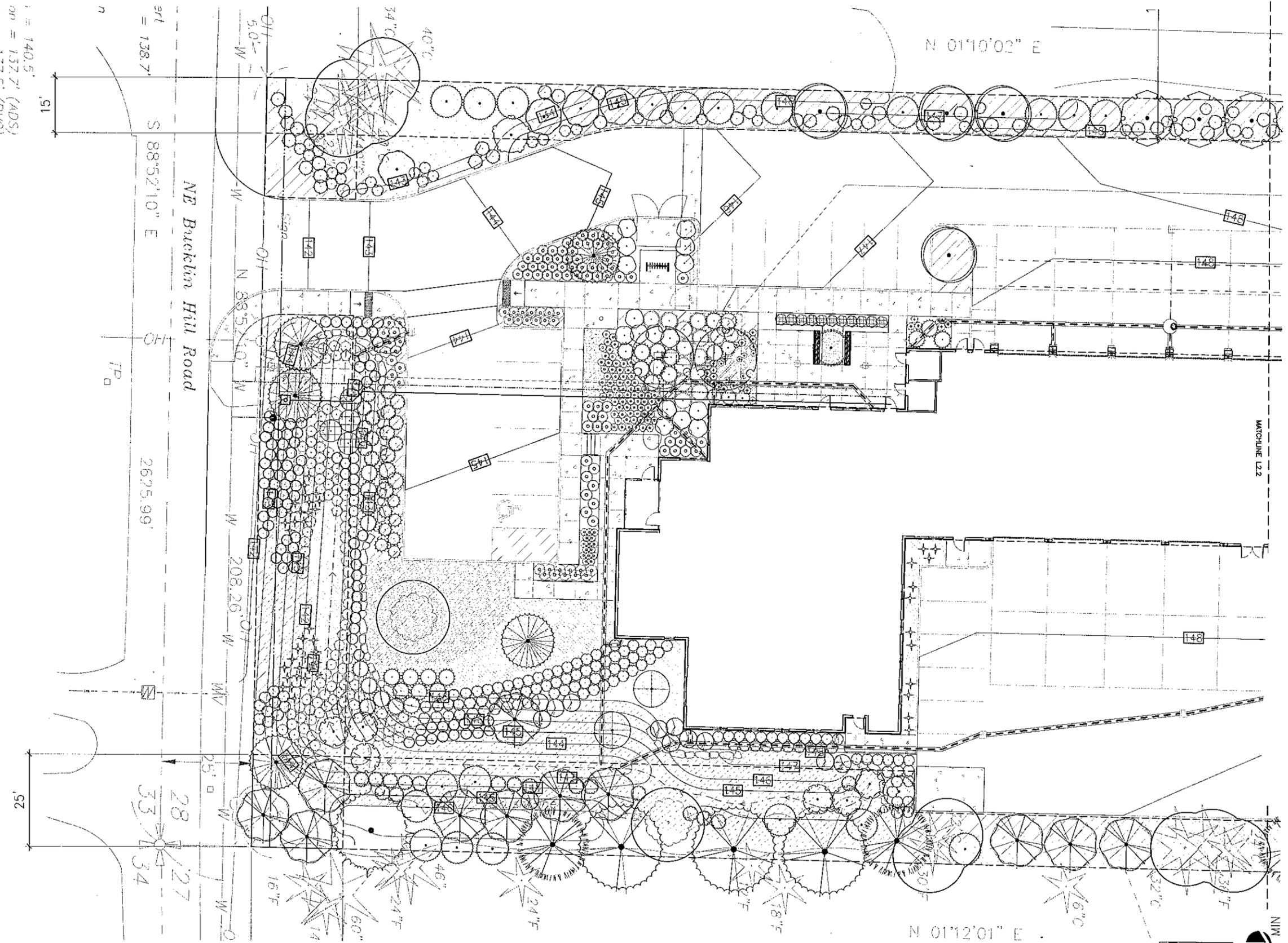
- REFER TO ARCHITECTURAL & CIVIL DRAWINGS FOR LIMITS OF WORK AND DEMOLITION OF EXISTING SITE ITEMS.
- REFER TO CIVIL DRAWINGS FOR LANDSCAPE GRADING AND DRAINAGE.
- REFER TO ARCHITECTURAL DRAWINGS FOR SITE HARDSCAPE DETAILS.

EXISTING TREES TO BE PROTECTED - REFER TO TREE RETENTION PLAN & ARBORIST'S REPORT.

<p>MECHANICAL/ELECTRICAL INTERFACE ENGINEERING 708 SW 3RD, SUITE 400 PORTLAND, OR 97204</p>	<p>LANDSCAPE FISCHER BOUMA PARTNERSHIP 310 MADISON AVENUE SOUTH, SUITE A BAINBRIDGE ISLAND, WA 98110</p>	<p>Architecture • Interiors • Planning • Engineering</p> <p>M.</p> <p>Bainbridge, OR 503.224.9560 Yacowitz, WA 360.695.7679 Seattle, WA 206.742.9993</p> <p>MACKENZIE. DESIGN DRIVEN CLIENT FOCUSED</p>	<p>Client BAINBRIDGE ISLAND FIRE DEPT STATION 22</p> <p>8895 MADISON AVE. NE BAINBRIDGE ISLAND, WA 98110</p>	<p>Project BAINBRIDGE ISLAND FIRE DEPT STATION 22</p>	<p>REVISIONS:</p> <p>1. REVISED PER PRELIMINARY</p>	<p>STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT JERRY S. SPINA CERTIFICATE #230</p>	<p>REVISION DATA DATE: 03/04/2016 BY: JF</p> <p>DRAWN BY: JF</p> <p>CHECKED BY: JF</p>	<p>© MACKENZIE 2016. ALL RIGHTS RESERVED. THESE DRAWINGS ARE THE PROPERTY OF MACKENZIE AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.</p> <p>SHEET TITLE: PLANT SCHEDULE + NOTES</p>	<p>SHEET L2.0 JOB NO: 2150124.00</p>
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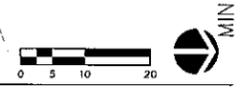
ATTACHMENT O

1" = 140.5'
 3/4" = 137.7' (ADS)
 3/8" = 137.5' (PVC)



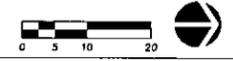
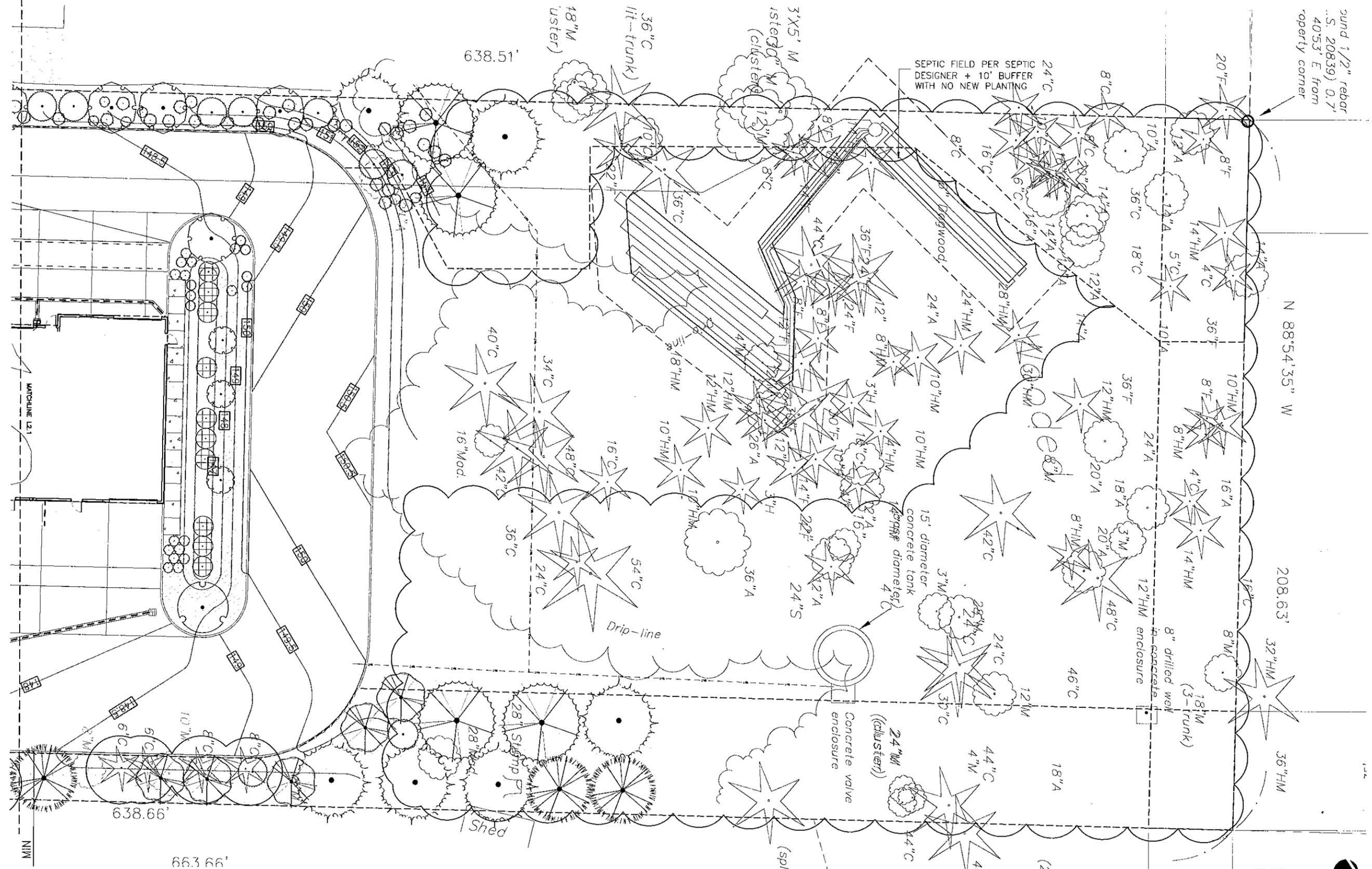
ATTACHMENT P

PLANTING PLAN - SOUTH
1"=10'-0"



MECHANICAL/ELECTRICAL INTERFACE ENGINEERING 708 SW 3RD, SUITE 400 PORTLAND, OR 97204	LANDSCAPE FISCHER BOUMA PARTNERSHIP 310 MADISON AVENUE SOUTH, SUITE A BAINBRIDGE ISLAND, WA 98110	 www.mcknz.com	Architecture • Interiors • Planning • Engineering Portland, OR 503.224.9560 Vancouver, WA 360.595.7879 Seattle, WA 206.749.9993 MACKENZIE. DESIGN DRIVEN CLIENT FOCUSED	Client BAINBRIDGE ISLAND FIRE DEPARTMENT 8895 MADISON AVE. NE BAINBRIDGE ISLAND, WA 98110	Project BAINBRIDGE ISLAND FIRE DEPT STATION 22	 STATE OF WASHINGTON LANDSCAPE ARCHITECT 03303 K. BOUMA LICENSE NO. 347	REVISIONS: REVISION NUMBER REVISION DATE REVISION DESCRIPTION 1 04/20/16 REVISED PER SPEC COMMENT	© MACKENZIE 2016 ALL RIGHTS RESERVED THESE DRAWINGS ARE THE PROPERTY OF MACKENZIE AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION DRAWN BY: JP CHECKED BY: JB	SHEET TITLE: PLANTING PLAN - SOUTH	SHEET L2.1 JOB NO. 2150124.00
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Found 1/2" rebar
S. 20839) 0.7'
40.53' E from
property corner



PLANTING PLAN - NORTH
1"=10'-0"

<p>MECHANICAL/ELECTRICAL INTERFACE ENGINEERING 708 SW 3RD, SUITE 400 PORTLAND, OR 97204</p>	<p>LANDSCAPE FISCHER BOUMA PARTNERSHIP 310 MADISON AVENUE SOUTH, SUITE A BAINBRIDGE ISLAND, WA 98110</p>	<p>M. www.mcknz.com</p>	<p>Architecture • Interiors • Planning • Engineering Portland, OR 503.224.9560 Vancouver, WA 360.695.7879 Seattle, WA 206.748.9993</p> <p>MACKENZIE DESIGN DRIVEN CLIENT FOCUSED</p>	<p>Client: BAINBRIDGE ISLAND FIRE DEPARTMENT 8895 MADISON AVE. NE BAINBRIDGE ISLAND, WA 98110</p>	<p>Project: BAINBRIDGE ISLAND FIRE DEPT STATION 22</p>		<p>REVISIONS: REVISION DATE BY</p>	<p>© MACKENZIE ALL RIGHTS RESERVED THESE DRAWINGS ARE THE PROPERTY OF MACKENZIE AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION</p> <p>DRAWN BY: JP CHECKED BY: JB</p>	<p>SHEET TITLE: PLANTING PLAN - NORTH</p>	<p>SHEET L2.2 JOB NO. 2150124.00</p>
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City of Bainbridge Island

MAR 4 2016

Planning and
Community Development

March 3, 2016

City of Bainbridge Island
Attention: Janelle Hitch
280 Madison Avenue N.
Bainbridge Island, WA 98110

Re: **Bainbridge Island Fire Department - Station #22**
Trip Generation Letter
Project Number 2150124.00

Dear Ms. Hitch:

Mackenzie has prepared this letter to satisfy City of Bainbridge Island concurrency requirements for a proposed fire station by addressing the estimated trip generation and need for a traffic study. The 14,333-square-foot fire station is proposed at 7934 Bucklin Hill Road NE in Bainbridge Island, Washington. The proposed fire station will replace an existing 4,850-square-foot fire station at the same site. A site plan supporting the proposed fire station is attached to this letter.

EXISTING TRIP GENERATION

Three buildings currently exist on the subject site, totaling approximately 4,850 square feet. The existing use on the site is a fire station including a shop addition, shipping container, and concrete and gravel pads.

The Institute of Transportation Engineers' (ITE) *Trip Generation Manual, 9th Edition* does not provide trip generation rates specific to fire stations. Mackenzie has developed a trip rate for fire station based on anticipated activity. This includes employee trips, deliveries, meetings, and emergency calls. We have found a rate of 3.49 daily trips per 1,000 square feet, based on a similar facility in Clackamas County, Oregon, is an appropriate trip rate estimate. A copy of that estimate can be provided upon request. It was assumed that 10% of the daily trips would occur during the PM peak hour. Based on these trip rates, the existing fire station's estimated trips are presented in Table 1 below.

TABLE 1 – EXISTING SITE TRIP GENERATION				
ITE Code	Land Use	Size	PM Peak Hour	Daily
N/A	Fire Station	4.85 KSF	2	17

PROPOSED TRIP GENERATION

The existing buildings are to be demolished to accommodate the proposed 14,333-square-foot fire station. The same trip rate of 3.49 daily trips per 1,000 square feet was applied to the proposed 14,333-square-foot fire station. The proposed fire station's trip estimates are presented in Table 2.

TABLE 2 – PROPOSED SITE TRIP GENERATION				
ITE Code	Land Use	Size	PM Peak Hour	Daily
N/A	Fire Station	14.33 KSF	5	50

NET NEW TRIP GENERATION

The fire station replace at the same site is assumed to result in an increased potential in trip generation, as noted above. The difference in existing and proposed trips is presented in Table 3 below and represents the potential for new trips on the external road network.

TABLE 3 – NET NEW SITE TRIP GENERATION		
Trip Type	PM Peak Hour	Daily
Proposed	5	50
Existing	2	17
Net New	+3	+33

The net new trip generation is estimated be an additional 3 PM peak hour trips and 33 daily trips. The City requires a traffic study for new land uses adding more than 5 PM peak hour trips or more than 50 daily trips. The net new trips are less than the City's standards for a traffic study. Therefore, a traffic study is not needed.

If you have any questions regarding the information presented in this letter, please do not hesitate to contact me.

Sincerely,

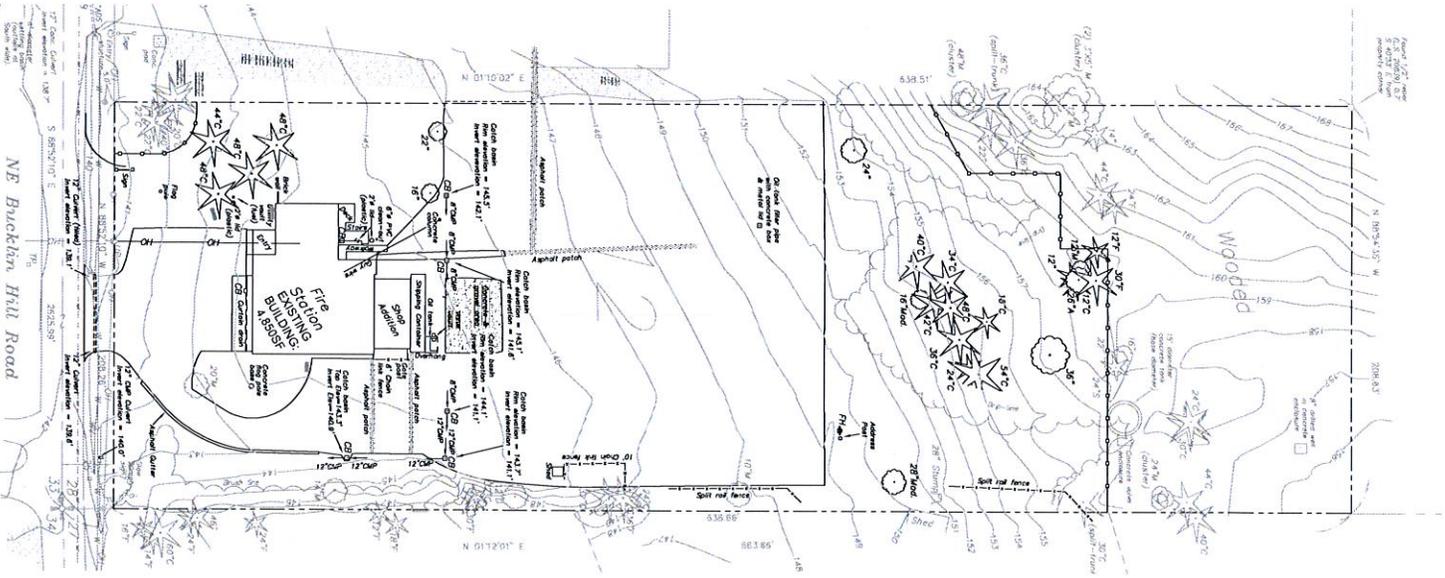


Brent Ahrend, PE
Senior Associate | Traffic Engineer

Enclosure(s): Existing Site Plan
Proposed Site Plan

c: Michael Chen, Brett Hanson, Janet Jones – Mackenzie





NE Buckhorn Hill Road





CITY OF
BAINBRIDGE
ISLAND

Department of Planning and Community
Development

**Development Engineer
Project Review**

To: Josh Machen, Planning Manger
From: Janelle Hitch, Development Engineer *JCH*
Date: October 13, 2016
Re: Bainbridge Island Fire Station 22 - Site Plan Review & Conditional Use Permit

Related Application Number:

PLN14200-SPR/CUP

Project Description:

The proposal includes the replacement of the existing fires station with a new fire station building. Once completed, the fire station will operate in the same capacity as it is currently. No significant change in traffic is anticipated with the redevelopment. The site access will remain on Bucklin Hill Road. The location of the access point for the new station will be shifted to the west. The access point will serve for both emergency vehicles and passenger vehicle access. The site will be served by a new septic system and water service will be provided by Washington Water System. There will no longer be a shared parking lot with the neighboring American Legion Post to the west.

The site address is 7934 Bucklin Hill Road NE. The site tax parcel number is: 4178-000-012-0004.

Comments:

I have completed a review of the above referenced project materials received by the City of Bainbridge Island (COBI). Conditional approval of the Site Plan Review and Conditional Use Permit is recommended. Please see the comments and proposed conditions below:

1. The conditional use conforms to regulations concerning drainage in BIMC 15.20 and 15.21.
2. The conditional use will not cause an undue burden on the drainage basin or water quality and will not unreasonably interfere with the use and enjoyment of properties downstream.
3. The streets and pedestrian ways as proposed align with and are otherwise coordinated with streets serving adjacent properties, see additional condition.
4. The streets and pedestrian ways as proposed are adequate to accommodate anticipated traffic.

5. There is capacity in the water system to serve the conditional use. The applicable service can be made available at the site.
6. The conditional use conforms to the "City of Bainbridge Island Design and Construction Standards and Specifications Manual".

Conditions:

1. The COBI Non-Motorized 6-Year Capital Improvement Plan includes the C40-Bucklin Phase 2 Project that extends along the frontage of the Bainbridge Island Fire Station 22. Frontage improvements along Bucklin Hill Road NE corresponding to the CIP C40 Bucklin Phase 2 Project must be completed or a fee-in-lieu must be provided to the City prior to Certificate of Occupancy and/or Final Inspection. Frontage improvements include pedestrian sidewalk and bike lane.
2. All on-site stormwater facilities shall remain privately owned and maintained. The owner shall be responsible for maintenance of the storm drainage facilities for this development following construction. Annual inspection and maintenance reports shall be provided to the City. A Declaration of Covenant for stormwater system operation and maintenance will be required to be recorded before issuance of occupancy permits. The approved language for the Declaration of Covenant is found in BIMC 15.21 Exhibit A.

Permits Required:

1. A NPDES permit from the Department of Ecology will be required prior to ground disturbing activities.
2. A Right-of-Way permit will be required prior to any work within the right of way. The ROW permit will be subject to separate conditions and bonding requirements.



CITY OF BAINBRIDGE ISLAND
DESIGN REVIEW BOARD
Regularly Scheduled Meeting Minutes
Monday, December 21, 2015 at 2:00 p.m.
City Council Conference Room
280 Madison Ave N
Bainbridge Island, Washington 98110

Call to Order (Attendance, Agenda, Ethics)

The Ravine Apartments PLN50039 SPR Follow-up

BIFD Station 21 – Pre-application

BIFD Station 22 – Pre-application

Montessori Country School PLN17677 PRE Pre-application

Old and New Business

Adjournment

Call to Order (Attendance, Agenda, Ethics)

Chair Alan Grainger called the meeting to order at 2:01 PM. Other Design Review Board (DRB) members present were Peter Perry, Susan Bergen, Jeff Boon and Chris Gutsche. Jim McNett and Chuck Depew were absent and excused. City Staff in attendance were Planning Manager Joshua Machen, Planner Kelly Tayara and Administrative Specialist Jane Rasely who monitored recording and prepared minutes. Mr. Grainger welcomed new DRB members Mr. Gutsche and Mr. Boon.

The Ravine Apartments PLN50039 SPR Follow-up

Mr. Grainger gave an overview of the project to the new members. Roof slope and retaining a large tree near the building were discussed. Clients were invited in at 2:20 PM. Introductions were made all around. Devin Johnson for Johnson Squared presented the changes in roof line and the plan to save a large tree. Mr. Grainger thanked them for the changes in the roofline, saying the DRB appreciated that the bulk of the building was reduced by it. Ms. Bergen asked how they planned to save the tree, i.e., what changes were they going to make. Mr. Johnson replied they were going to move the garbage area back away from the tree and use grassy pavers instead of paving the area. Mr. Machen stated that if they were committed to saving the tree, they needed to come up with a plan for that. Mr. Johnson replied they would work with an arborist to come up with a plan for saving the tree as well as working with a Geotech engineer to plan changes to the foundation.

Motion: I move we recommend the plan going forward.

Perry/Bergen: Passed unanimously 5-0

While waiting for the BIFD architects (held up by ferry), Planner Tayara briefed the DRB about the Montessori Country School application. Mr. Gutsche asked if he needed to recuse himself for having worked with the Montessori Country School about 10 years ago. Mr. Grainger did not feel he needed to since it was so long ago, but agreed he should do so if he felt it necessary. Planner Tayara mentioned one item up for discussion was traffic and the need to keep traffic from backing up on the road during certain times of day.

BIFD Station 21 – Pre-application

Brett Hansen and Chauncey Drinon from Mackenzie Architects were introduced. Mr. Hansen gave an overview of their part in the design process from pre-bond stage to pre-application. He stated all the programming (design) is based on future need. Key particulars driving design were:

- Public parking moved to edge
- Pull through bays
- Medic helicopter pad
- Trees and existing storm water retention to be reused.
- Existing memorial retained
- Vegetation around helipad
- Public plaza.

There was discussion of the roof line and whether the lines would remain clean or would mechanical equipment be placed upon it. Mr. Hansen stated yes they would remain clear with the exception of ham radio antennas that would be mounted on one of the sides of the building. The number and sizes of bays were discussed as well as the size of the roof line (300 feet) and how to break up the look of it. The approach from the south when driving up Madison Avenue was also reviewed. Mr. Hansen summarized the concerns the DRB had and gave initial thoughts as to where, how and whether it was functional to respond to them. Mr. Grainger then brought up providing a connection to the existing trail behind the property. Assistant Fire Chief Luke Carpenter stated security was an issue for putting a trail through the property.

BIFD Station 22 – Pre-application

Mr. Hansen gave a brief overview of the plans for Station 22 stating the same materials were being used to maintain a consistent look across the organization. Mr. Gutsche thought the design was good for the more rural setting (as opposed to Station 21) but asked if the pitch of the roof could be changed to allow for a more southern exposure to accommodate future solar panels. The DRB also expressed the desire to raise the red wall with the identifying “22” above the roof line. Mr. Grainger stated they looked forward to seeing this design at the Site Plan Review meeting.

Montessori Country School PLN17677 PRE Pre-application

Introductions were made around the table with the project design team of Russ Hamlet, Brandon Hogue and Kia Micaud. Planner Tayara mentioned the public meeting for this project was being held on January 4, 2016 at the school. Mr. Hamlet expressed the vision statement of this project was to bring the two campuses together on one campus to facilitate student interaction and teacher collaboration. He continued providing an overview of the site plan showing buffers, administrative buildings and classrooms including a proposed future classroom. Ms. Micaud described landscaping, parking spaces utilizing crushed rock instead of paving, fencing, maintenance access gates and play areas. ADA accessibility was remarked upon when Mr. Grainger asked the type of materials used on the pathways that would allow wheelchair access. Mr. Hamlet discussed that deck overhangs were designed with accessibility for solar panels in mind. Storm water drainage was discussed and whether building a rain garden in the buffer would be possible. Mr. Hamlet mentioned they would come back in April or May before they applied for the building permit. Mr. Grainger spoke for the DRB saying they felt very good about this project.

Old and New Business

None.

Adjournment

Meeting was adjourned at 5:05 PM.

Approved by:


 Alan Grainger, Chair


 Jane Rasely, Administrative Specialist



**CITY OF BAINBRIDGE ISLAND
DESIGN REVIEW BOARD - REGULAR MEETING**

December 21, 2015

PLEASE PRINT

**Join
ListServ
Yes/No**

Name	Affiliation	Phone/ E-Mail	Join ListServ Yes/No
Chris Gutsch		chris@ecosmithdesign.com	yes
JEFF BOON		206-499-3854	yes
PETER PERRY	DRB		
Susan Bergen	DRB		
Alan Grainger	DRB		
EMILT SCALI	Johnson Squared	emily@johnsonsqared.com	no
BILL RANSON	WLG (owner)	branson18@gmail.com	no
CHAUNCEY DRAGON	MACKENZIE	edragon@mckenze.com	
Luke Carpenter	BIFO	lcarpenter@bifd.org	
BRETT HANSON	B Mackenzie	bhanson@mckenze.com	
Kelsey Laughlin	Bronne Wheeler Engineers	kelseyebrownwheeler.com	yes
Meaghan Skotheim	meaghseni Country School	meaghan@meaghsenicountryschool.org	no
KIM MICAUD	Catherine Micaud Landscape	KimMicaud@gmail.com	no
RUSS HAMMET	SH-A		OK
BRANON HOGG	SH-A		

Call to Order (Attendance, Agenda, Ethics)

Bainbridge Island Fire Department Station 21 (PLN11791SPR/CUP)

Bainbridge Island Fire Department Station 22 (PLN14200SPR/CUP)

Wyatt Cottages (PLN50165SPR)

New/Old Business

Adjourn

Call to Order (Attendance, Agenda, Ethics)

Chair Grainger called the meeting to order at 2:06 PM. Other Design Review Board members in attendance were Jim McNett, Chuck Depew and Chris Gutsche. Peter Perry, Susan Bergen and Jeff Boon were absent and excused. City Staff present were Planning Manager Josh Machen and Administrative Specialist Jane Rasely who monitored recording and prepared minutes.

The agenda was reviewed and Mr. Grainger asked that the fire departments be reviewed in the opposite order with review of BIFD Station 22 coming first. There were not any conflicts of interest disclosed.

Bainbridge Island Fire Department Station 22 (PLN14200SPR/CUP)

Planning Manager Josh Machen gave an overview of the changes to the project citing the unexpected change in City personnel that occurred on both BIFD projects.

Brett Hansen and Chauncey Drinon from Mackenzie Architects presented the proposed site plans for both fire stations. Mr. Drinon walked the DRB through the changes made to Station 22 stating the biggest change was the removal of the public meeting space. Landscaping elements, types of shrubbery, etc., were highlighted. He stated with the removal of the public meeting room, less impervious surface would be created and more trees would be saved as the entire project would be moved further south on the site. Mr. Grainger asked if there was a site plan available that showed the reduction in parking. Mr. Hanson replied there was not one available at that time. Mr. Gutsche asked how much closer to the street the building would be. Mr. Hanson replied it would be 20-25 feet closer. Mr. Depew asked what the reduction in the building size would be. Mr. Drinon replied the building would go from 15,000 square feet to 14,000 square feet. Color and design materials were presented and described as applicable to both Fire Station 22 and 21.

Mr. McNett asked if there would be any mechanical equipment on the roof. It was stated there would not be any mechanical equipment on either of the proposed fire station roofs. Discussion of the trash enclosure ensued with Mr. Machen reminding the designers that the enclosure must be designed and built in the same style as the building.

The Design Checklist was reviewed with the following answers given by the DRB:

1. Variation in facade provided visual interest - Yes
2. Modulate scale of building - Yes
3. Limit visual impact of blank walls and facades - Yes
4. Establish visually prominent ground floor facades - Yes

-
5. Maintain pedestrian scale along facades - Yes
 6. Maintain pedestrian activities - Yes
 7. Reduce overall scale of building - Yes
 8. Encourage creation of public outdoor spaces – No; Gap in application. Mr. Hanson stated they would submit the landscape plan.
 9. Soften impact of built environment - Yes
 10. Compatible with community and neighborhood characteristics - Yes
 11. Minimize intrusiveness of signage - Yes
 12. Improve pedestrian environment - Yes
 13. Provide pedestrian access - Yes
 14. Provide weather protection for pedestrians - Yes
 15. Maintain smaller scale commercial buildings - Yes
 16. Reduce visual impact of parking areas - Yes

Motion: I move conditional approval of application subject to submission of a final site plan that conforms to the new design as well as the landscaping plan that relates to that site plan based on their presentation on March 7, 2016.

Depew/Grutsche: Unanimous approval.

Bainbridge Island Fire Department Station 21 (PLN11791SPR/CUP)

Mr. Hansen provided a review of the key element questions the DRB had during the pre-application presentation. He stated there was a reduction in the size of the building by one equipment bay. Some of the administration function was moved back to the first floor with the bulk staying on the second floor. Mr. Hansen also reiterated they would be using the same materials and design concepts as Fire Station 22 to maintain continuity between fire stations as well as provide recognition from the public. The private areas of the fire station were explored and locations of the gates were shown. Discussion ensued of the roofline over the southern part of the bays/service area. Arguments were presented for moving the “fire tower” with the identifying 21 to the other end of the bays from its current situation with numerous other locations for the “21” explored. Mr. Grainger asked Mr. Machen whether the site plan typically included the landscape plans. Mr. Machen stated it could be part of it, but was not necessarily part of the Design Guidelines. He also pointed out that the landscaping plans were part of the packet and that a presentation by the actual landscape architect had not been expected in the past. The DRB asked for them to come back with landscape information as they were going to do for Station 22.

The Design Checklist was reviewed with the following answers given by the DRB:

1. Variation in façade provided visual interest - Yes
2. Modulate scale of building - Yes
3. Limit visual impact of blank walls and facades - Left Open to see south elevation again
4. Establish visually prominent ground floor facades - Yes
5. Maintain pedestrian scale along facades - Left Open to see landscape plan
6. Maintain pedestrian activities - Yes
7. Reduce overall scale of building - Yes
8. Encourage creation of public outdoor spaces - Left Open to see landscape plan
9. Soften impact of built environment - Left Open to see landscape plan
10. Compatible with community and neighborhood characteristics - Yes
11. Minimize intrusiveness of signage - Yes
12. Improve pedestrian environment - N/A

-
-
13. Provide pedestrian access - Yes
 14. Provide weather protection for pedestrians - Yes
 15. Maintain smaller scale commercial buildings - Yes
 16. Reduce visual impact of parking areas - Yes

Motion: I move we approve the design as shown with the contingency based on the presentation of the landscape plan by the landscape architect. Approval also contingent upon material requirements brought forth at next meeting (March 7, 2016).

McNett/Depew: Passed unanimously

Wyatt Cottages PLN50165 SPR

Josh Machen provided an overview of the changes to the design that was seen at the pre-application review.

When the applicant entered, introductions were made around the table. There were two citizens/neighbors present as well as developer James Laughlin and architect Bruce Anderson. Mr. Anderson provided a review of the previous action during the pre-application phase as well as an overview of the current project mentioning that the "tot lot" park was no longer being moved. Mr. Laughlin mentioned that he held an open house at the Oliver house and invited all members of the public who left their e-mails during the pre-application phase to view the new plans which were well received. Mention was made of the two parking spaces the park district asked for the applicant to provide for the park. (BIMPRD actively discourages parking at the "tot lot.") Mr. Grainger asked about the large scale trees in the small scale landscaping. Mr. Anderson stated those would be going closer to the park. Lighting of entry ways as well as the driveway was discussed as "moon" light as opposed to "up" lighting. Mr. McNett asked whether covers for vehicle parking would be allowed. Mr. Laughlin stated if the owners all voted for that (the development would be a condominium) they could do that but it would be written into the CCRs. There was discussion with citizens (see attached sign-in sheet) regarding the acceptability of changes made to the site plan from the previous site plan submitted.

Motion: I move acceptance of the revised site plan for the project.

Answers to Design Guidelines were:

1. Parking lot visually unobtrusive – Yes
2. Open space and amenities – Yes
3. Pedestrian connection – Yes
4. Shielded lighting – Yes
5. Service areas screened – Yes
6. Common open space – Yes
7. Overall form – Very positive
8. Entrances from street clear – Yes
9. Mechanical equipment concealed – Yes
10. Structured parking – N/A
11. Varied details – Yes
12. Integrated signage – N/A



- 13. Creativity – Yes
- 14. Awning signs – N/A
- 15. Landscape front setbacks – Yes
- 16. Strong reference point to key intersections – Yes
- 17. Residential roof forms – Not following normal, but great solution

Motion: I move acceptance of the revised site plan for the project.
Depew/McNett: Passed unanimously 4-0

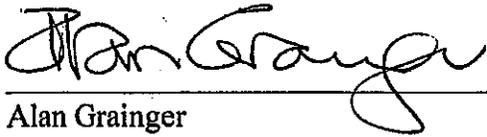
New/Old Business

Mr. Grainger informed the other DRB members he would be their representative at the all-day interview process for the new Planning Director on February 23, 2016.

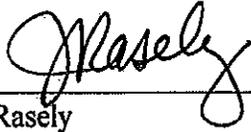
Adjourn

The meeting was adjourned at 6:00 PM.

Approved by:



Alan Grainger



Jane Rasely



CITY OF
BAINBRIDGE ISLAND

**CITY OF BAINBRIDGE ISLAND
DESIGN REVIEW BOARD - REGULAR MEETING
February 22, 2016**

PLEASE PRINT

Join
ListServ
Yes/No

Name	Affiliation	Phone/ E-Mail	Join ListServ Yes/No
Chris Gutsche	DRB	chris@ecosmartsdesign.com	Y
JIM MCNETT	DRB		
Alan Grainger	DRB		
Ken Felton	DRB	v.felton@bainbridgeid.org	
Chuck Popow	DRB		
Brian Kalkb	Bainbridge Review	ed@bainbridgeid.org	Y
HANK TERED	Fire	nteran@BIFD.ORG	
Janine Courtemanche	Fire	flourtemanche@bifd.org	
BRETT HANSON	MACKENZIE	bhanson@mcknz.com	
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BRUCE ANDERSON	CAA	BRUCE@CTEAL-ANDBSAI.COM	
CRAIG SPENCER	CITIZEN	cspencerstudio@gmail.com	
Margaret Celestina	FEELHOL	stuartly4@gmail.com	
James Laughlin	Applicant	jmlaughlin32@gmail.com	

Call to Order (Attendance, Agenda, Ethics)
Approval of Minutes - January 4, 2016
Jones House Site Plan Review (PLN50311SPR)
Bainbridge Island Fire Department Station 21 (PLN11791SPR/CUP)
Bainbridge Island Fire Department Station 22 (PLN14200SPR/CUP)
New/Old Business
Adjourn

Call to Order (Attendance, Agenda, Ethics)

Chair Alan Grainger called the meeting to order at 2:14 PM. Design Review Board (DRB) members in attendance were Jim McNett, Chuck Depew, Chris Gutsche and Jeffrey Boon. Susan Bergen and Peter Perry were absent and excused. Council Liaison Ron Peltier attended. City Staff present were Planning Manager Josh Machen, Senior Planner Heather Beckmann and Administrative Specialist Jane Rasely who monitored recording and prepared minutes. The agenda was reviewed without any conflicts reported.

Approval of Minutes - January 4, 2016

Motion: I move to approve the minutes.

Gutsche/Depew: Passed unanimously

Jones House Site Plan Review (PLN50311SPR)

Jon Thornburgh presented the newest information for the Jones House, one of the two houses his family owns on Ericksen Avenue. He passed out new plans stating the site plans contained in the agenda packet were out of date. Mr. Thornburgh answered the previous questions from the DRB showing pictures of mature trees and giving explanations as to the thought process that went into the site plan. Mr. Grainger engaged in a discussion of moving the staircase in order to facilitate door and dormer placement on the second floor. ADA parking was presented as well. The need for underground parking was canvassed and it was suggested that Mr. Thornburgh check with Project Manager Heather Beckmann about possibilities regarding the height and underground parking correlation and whether underground parking was necessary to accommodate the increased height of the building. Mr. McNett and Mr. Depew agreed it would have been nice to see actual pictures of the current building.

Discussion of the DRB's role in determining land use occurred between project reviews with the Assistance Dogs of Hawaii project used as an example.

Conversation about public buildings and how the requirements are different than for private projects led out of a preview of the landscape plans for BIFD Station 22.

Chris Gutsche excused himself from the meeting briefly at 3:10 PM.

Bainbridge Island Fire Department Station 22 (PLN14200SPR/CUP)

Mr. Brett Hansen introduced Jeff Bouma who spoke about the landscape site design. Mr. Bouma stated they had surveyed and inventoried every tree on both sites as well as updated the buffer diagrams. He said they were meeting the buffer requirements for both sites. He also stated they would be saving 134 out of 140 trees at Station 22. He furthered the discussion by relating the impetus for the plant palate citing an inspirational beautiful Japanese maple tree onsite. Mr. Depew asked about the difference in plants chosen for a rain garden as opposed to other areas on a site. Mr. Hansen spoke about the adjustments in parking due to the change in programming for the building. Removing some of the parking spaces allowed for increased landscaping. ADA parking and the trash closure were revisited. It was stated that full screen buffers were planned for the northern border of the property.

Bainbridge Island Fire Department Station 21 (PLN11791SPR/CUP)

Mr. Bouma gave the overview of the plant palate for Station 21 stating there were more evergreens in this palate to provide structure and year round color. He also stated that because of visibility from the road, as well as the big, long apparatus bay, the landscaping would be a little less natural until further out toward the edge of the property. The grouping of trees placed strategically against the large southern wall of the apparatus bays was described. Mr. McNett asked how big the trees would be when they were planted. Placement of trees, benches and perhaps a covered bench at the entrance were discussed. Mr. Gutsche asked what percentage of stormwater was being managed on the site. The answer was 100% was being handled through rain gardens. Mr. Hansen then presented the promised updates.

Charles Schmid, Citizen – Asked whether trees within the buffer along Highway 305 would be removed. Mr. Bouma stated none of them would be removed.

Mr. Grainger asked if there had been any thought to connecting the public transportation drop-off point on Highway 305 to the sidewalk on Madison. Mr. Hansen stated a walk lane would be provided by the fog lane.

Motion: I move that the Fire Stations 21 and 22 have met the contingencies to their approval.

Gutsche/McNett: Unanimously approved.

New/Old Business

There was extensive discussion about how to really save trees on properties being developed and how to prevent clear cutting. Tree and building clusters and the efficacy of clustering were questioned. Mr. Grainger wondered why new subdivision developments did not have to come to the DRB. Mr. Peltier asked the DRB if they felt they had the time to take on expanded duties.



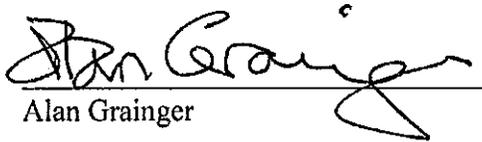
**Design Review Board
Regularly Scheduled Meeting Minutes
Monday, March 7, 2016**

He also asked them to look at the Land Use Element of the Comprehensive Plan and felt that might be a good place to expand the purview of the DRB. The DRB felt it would be helpful to have a work session with the new Planning Director when he arrives. Mr. Peltier thanked the DRB for their work and said he found their work interesting.

Adjourn

The meeting was adjourned at 4:56 PM.

Approved by:


Alan Grainger


Jane Rasely

Bainbridge Island Fire Department

Memo

January 30, 2016

TO: Josh Machen, Planning Department

FR: Assistant Chief Luke Carpenter, Fire Marshal

RE: BIFD Station 22

PLN14200 CUP

The submittal has been reviewed resulting in the following comments:

1. Proposed fire station must be equipped with fire sprinklers and fire alarms as per the adopted Code.
2. The project shall comply with the requirements of the adopted Fire Code and any applicable NFPA standards or other requirements as stipulated by the Fire Marshal.

ATTACHMENT X

APR 29
~~JAN 15~~ 2016

Bainbridge Island Fire Department
Station 21 and 22
April 15, 2016
Provided by Fischer Bouma Partnership

SPR Landscape Plan Supplemental Information

This document is intended to supplement the Landscape drawings for Site Plan Review.

TREE & VEGETATION PROTECTION STRATEGIES

Trees to be retained as shown on Tree Retention Plan will be protected as required using methods as described in BIMC 18.15.010 (below copied out of current code). These methods are also provided in the project details on Civil drawing sheet Nos. C2.0 and C5.1 and Specification Section 31 10 00.

4. Protection during Construction and Development.

a. Intent. The intent of these regulations is to provide the best protection for significant trees and tree stands, including protection for trees on adjacent properties.

b. Requirements.

i. No cutting of significant trees shall be allowed on a site until the tree retention and planting plans have been approved by the director.

ii. In order to preserve future ecological function, the applicant shall identify areas of prohibited disturbance, generally corresponding to the dripline or critical root zone (as identified by a consulting arborist) of the significant trees and/or tree canopy of tree stands to be retained, buffers, areas of existing vegetation to be maintained, future rain gardens, and future planting areas larger than 400 square feet (i.e. landscape islands in parking lots). The prohibited disturbance areas shall be reviewed and approved by the director as part of the land use permit review process.

iii. A temporary five-foot-high chain link fence with tubular steel poles or "T" posts shall delineate the area of prohibited disturbance defined in subsection C.4.b.ii of this section, unless the director has approved the use of a four-foot-high plastic net fence as an



alternative. The fence shall be erected before construction starts and shall remain in place until construction has been completed, and shall at all times have affixed to it a sign indicating the protected area.

iv. No impervious surfaces, fill, excavation, vehicle operations, compaction, removal of native soil or storage of construction materials shall be permitted within the area defined by the required construction fencing. If avoiding construction and compaction in future planting areas is unavoidable, the landscape plan for the project shall include methods for aerating and/or augmenting compacted soil to prepare for new planting, pursuant to subsection H.2 of this section.

v. A rock well shall be constructed if the grade level around the tree is to be raised more than one foot. The inside diameter of the well shall be equal to the diameter of the dripline or critical root zone (as identified by a consulting arborist) of the tree or tree canopy of tree stands.

vi. The grade level shall not be lowered within the larger of (A) the dripline or critical root zone (as identified by a consulting arborist) of the tree, or the tree canopy of tree stands, or (B) the area recommended by a consulting arborist.

vii. Alternative protection methods may be used if recommended by a consulting arborist and determined by the director to provide equal or greater tree protection.

viii. Wherever this subsection C.4 allows or requires the involvement of a consulting arborist, that individual shall be selected from the city's list of current arborists certified by the American Society of Consulting Arborists and his or her services shall be paid for by the applicant.

VEGETATION CLEARING STRATEGIES

Clearing of vegetation is controlled by Specification Section 31 10 00 Site Clearing being provided by the Civil Engineer.

Vegetation will be cleared by typical mechanical means in areas proposed for development. The contractor will be required to protect and preserve trees and vegetation which are outside the clearing limits or



indicated to be protected as indicated on the plans. Trees, underbrush, and all vegetation indicated to be cleared will be done in a manner to protect adjacent property and items on-site to remain.

TOPSOIL PROTECTION & RE-USE STRATEGIES

Topsoil protection and re-use are controlled by Specification Sections 31 10 00 Site Clearing being provided by the Civil Engineer and Specification Section 32 29 00 Landscape Planting provided by the landscape architect, respectively.

Topsoil to remain in place will be protected through vegetation protection strategies and temporary erosion control measures implemented during construction. Native topsoil in areas to be developed will be removed to its full depth and stockpiled on site. All stockpiled topsoil will be covered. Stockpiles will be constructed in accordance with FWRC and WAC requirements. Side slopes will be appropriate for the material to prevent sloughing, erosion, or instability. Stockpiled soil should be screened so that it is free of clay clumps, rubble, cobbles, rubble or any other material that may limit plant growth. One hundred percent of the planting soil should pass through a ¾" sieve. See the following section for re-use strategies of amended (if necessary) native topsoil that has been stockpiled.

NATIVE SOIL AMMENDMENT STRATEGIES

Native soil amendment strategy is controlled by Specification Section 32 29 00 Landscape Planting.

Native soil in areas to be developed will be stripped and stockpiled per the section above. On-site soils fall in two categories: 1) those stripped and stockpiled and 2) those that were undisturbed (where final grades match existing grades) and that will have enhancement plantings added to them. Both stockpiled and undisturbed native topsoil will then be tested to determine the necessary amendments. Based upon the test results, state recommendations for soil treatments and soil amendments are to be incorporated to produce satisfactory planting soils suitable for health, viable plants. Organic content for the soil shall also be tested and the soil amended so that it is 3-8% by weight per LOI.

Prior to placing a given depth of amended topsoil, the subgrade will be disturbed/loosened to a determined depth by scarification, discing, or ripping to enable a rototiller to fully incorporate a compost amendment. The amended topsoil will then be placed on the prepared subgrade to a depth determined by analysis of the existing soils on site. Due to the typical mineral composition of the glacial till soils in this region, excavated areas to be planted with trees will typically require a 12" to 18" depth of amended topsoil placed. Areas of shrub, groundcover, and turf planting will require less of a depth of amended topsoil placement.

PLANTING TIMES

Planting time is controlled by Specification Section 32 29 00 Landscape Planting.

Planting should be performed between September 1 and May 31. Planting should not occur outside of this window or when the temperature is below 32 degrees F or above 80 degrees F. Planting should not occur when the soil is completely saturated or when the wind velocity is greater than 25 mph.



IRRIGATION

Irrigation is controlled by Specification Section 32 81 00 Landscape Irrigation. New landscape will be irrigated temporarily for establishment or permanently depending on location and typology.

APR 29
JAN 15 2016

Planning and
Community Development



Katy Bigelow
206.351.1375
arboristkaty@gmail.com

April 19, 2016

ATTN: Jeff Bouma
Fischer Bouma Partnership
310 Madison Avenue South, Suite A
Bainbridge Island, WA 98110

Chief Luke Carpenter at:
Bainbridge Island Fire Department
8895 Madison Ave.
Bainbridge Island, WA 98110

Dear Mr. Bouma and Mr. Carpenter:

Thank you for having me evaluate trees at the redeveloping Fire Station 22 on Bainbridge Island. To evaluate the trees addressed in this memo I combined my field experience and education with current accepted practices as defined by the American National Standards Institute (ANSI) and the International Society of Arboriculture (ISA).

The tools I use to make an assessment are limited to a rubber mallet, binoculars, compass, laser pointer, hand brush, shovel and hand trowel unless otherwise noted. A visual tree assessment and other methods are only conclusive for the day of inspection and do not guarantee that conditions will remain the same in the future.

I was asked by Mr. Bouma and Mr. Carpenter to assess significant trees in and near the buffer areas of the proposed redevelopment of the Fire Station 22 property. I was specifically asked to determine the health of the trees, if they were reasonable candidates to retain during construction that would retain vigor after construction, and to determine their drip lines corresponding to where tree protection would need to be installed before the project began. I completed my assessment on April 13, 2016.

I evaluated 21 trees growing in the buffer areas of the site. Two of the trees I evaluated (139a and 133a) were not located on the original survey but are noted on the Site Plan.

One of the trees I evaluated was in poor condition and should be removed (139a). The other trees are in fair or good condition and will likely stay viable with tree protection installed prior to construction after the project is complete. Refer to the Supporting Data for specific information on each tree.

ATTACHMENT Z

One mature Western red cedar growing on the southwest project corner is very close to an area slated to be cleared and graded. While cedars can tolerate some root disturbance during development activities, I strongly recommend that if this tree is retained that as much tree protection extending out from the tree trunk be extended to the east and north as possible. If roots are encountered while clearing and grading is occurring, roots smaller than five inches in diameter can be cleanly cut back to the project area with a sharp saw. If several larger than five inch diameter roots are encountered, the tree may lose stability and vigor. Do not leave exposed roots ripped or otherwise damaged.

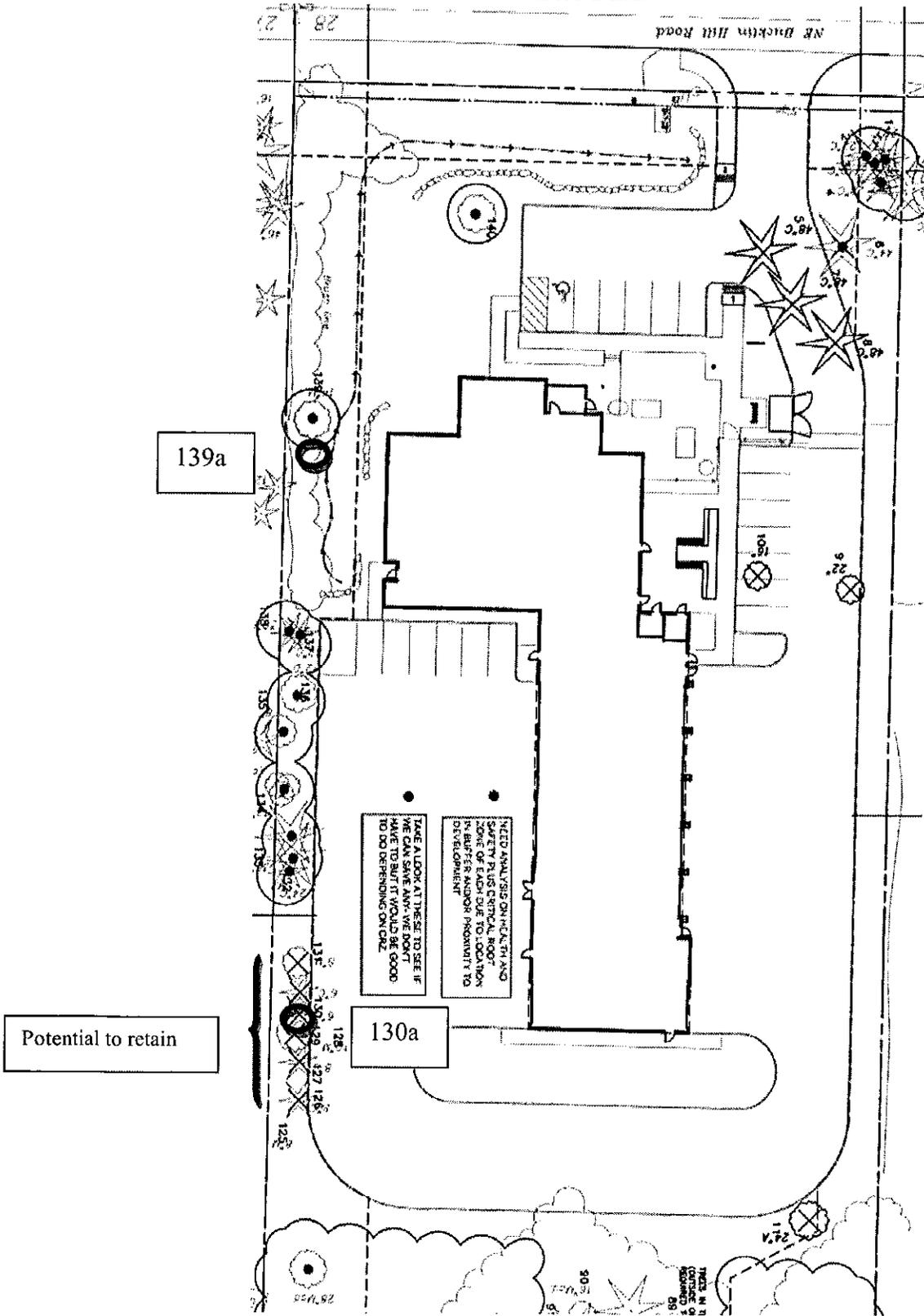
When possible, use tree protection fencing to surround trees close to each other instead of encircling individual trees. Buffer areas can be fenced off for tree protection at clearing boundaries. I strongly recommend installing tree protection fencing prior to the start of any clearing and grading activities.

Thank you very much for calling me for your arboricultural concerns.



Katy Bigelow
PNW ISA member # PN-3069AT
PNW Certified Tree Risk Assessor # 199
Registered Consulting Arborist® #490

Site Plan



Supporting Data

TREE #	SPECIES	DBH	DRIP LINE	CURRENT HEALTH RATING	COMMENTS/ RECOMMENDATIONS
1	Western red cedar/ <i>Thuja plicata</i>	20.0"	*	Good	*Tree protection: N- into buffer, S into buffer, E 15', W to property line
2	Western red cedar/ <i>Thuja plicata</i>	21.0"	*	Good	*Tree protection: N- into buffer, S into buffer, E 15', W to property line
3	Western red cedar/ <i>Thuja plicata</i>	38.0"	*	Good	*Tree protection: N- into buffer, S into buffer, E 15', W to property line
4	Western red cedar/ <i>Thuja plicata</i>	19.0"	*	Good	*Tree protection: N- into buffer, S into buffer, E 15', W to property line
6	Western red cedar/ <i>Thuja plicata</i>	44.0"	*	Good	*Tree protection: at least seven feet to the east, into the buffer remaining sides.
140	Japanese maple/ <i>Acer palmatum</i>	14"	15' all directions	Fair	Tree has been heavily pruned in past - do not remove shrubs around base if possible. Install tree protection at existing curb on south and east sides.
139	Elm species/ <i>Ulmus species</i>	15.0"	W- 10'	Fair	Trunk bowed to north.
139a	Maple species/ <i>Acer species</i>	14.0"	-	Fair	Open wound at trunk base with rot. Not a good candidate for retention. Remove (not on survey).
138	Western red cedar/ <i>Thuja plicata</i>	30.0"	W - 6'	Fair	Open wound at 3'
137	Douglas-fir/ <i>Pseudotsuga menziesii</i>	30.0"	W - 10'	Fair	Retain
136	Scouler's willow/ <i>Salix scouleriana</i>	10.0"	-	Poor	Remove
135	Scouler's willow/ <i>Salix scouleriana</i>	6.0"	-	Poor	Remove

134	Scouler's willow/ <i>Salix scouleriana</i>	6", 7"	-	Poor	Remove
133	Douglas-fir/ <i>Pseudotsuga menziesii</i>	42.0"	W to existing asphalt	Good	Retain
133a	Western red cedar/ <i>Thuja plicata</i>	33.0"	W to existing asphalt	Good	Retain
132	Western red cedar/ <i>Thuja plicata</i>	27.0"	W to existing asphalt	Good	Retain
124	Pacific madrone/ <i>Arbutus menziesii</i>	12", 17"	10' all directions	Dying	Retain. Do not prune off dead trunk.
126	Yellow arborvitae/ <i>Thuja occidentalis</i>	6"	4' all directions	Good	Considered a large shrub. Potential to retain.
127	Yellow arborvitae/ <i>Thuja occidentalis</i>	6"	4' all directions	Good	Considered a large shrub. Potential to retain.
130	Yellow arborvitae/ <i>Thuja occidentalis</i>	6"	4' all directions	Good	Considered a large shrub. Potential to retain.
130a	Yellow arborvitae/ <i>Thuja occidentalis</i>	6"	4' all directions	Good	Considered a large shrub. Potential to retain.
LEGEND					
Green font = large shrubs, not trees.					
Tree #: Tree number corresponding with surveyed map number					
Species: Common and Latin tree name					
DBH: Trunk diameter(s) at 4.5' above average ground level.					
Drip Line: A horizontal area equal to the maximum extent of branches and leaves in a certain direction. Distance from trunk at which to place tree protection fencing.					
Current Health Rating: A description of general health ranging from dead, dying, hazard, poor, suppressed, fair, good, very good, to excellent.					
Comments/Recommendations: Comments relative to the recommendations concerning the tree being a good candidate for retention.					

Assumptions, Limiting Conditions and General Waiver

I, Katy Bigelow, certify that:

I have personally inspected the tree(s) and or the property referred to in this report;

I have no current or prospective financial or other interest in the vegetation or the property which is the subject of this report and have no personal interest or bias in favor of or against any of the involved parties or their respective position(s), if any;

The analysis, opinions and conclusions stated herein are the product of my independent professional judgment and based on current scientific procedures and facts, and the foregoing report was prepared according to commercially reasonable and generally accepted arboricultural standards and practices for the Pacific Northwest and Puget Sound areas;

The information included in this report covers only those trees that were examined and reflects the condition of the trees as of the time and date of inspection;

This report and the opinions expressed herein are not intended, nor should they be construed, as any type of warranty or guarantee regarding the condition of the subject trees in the future;

Covenants, Conditions, and Restrictions (“CC&Rs”) may restrict the number, type and height of vegetation on the subject property, and I have made no investigation regarding whether the property is subject to such CC&Rs; and

To the best of my knowledge and belief, all statements and information in this report are true and correct and information provided by others is assumed to be true and correct.

I am not an attorney or engineer. This report does not cover these areas of expertise and represents advice only of arboricultural nature. Without limiting the generality of the preceding sentence, it is specifically understood that nothing contained in this report is intended as legal advice, or advice or opinions regarding soil stability or zoning laws, and this report should not be relied upon to take the place of such advice.



Katy Bigelow
PNW ISA member # PN-3069AT
PNW Certified Tree Risk Assessor # 199
Registered Consulting Arborist® #490

Memorandum

Bainbridge Island Fire Department Project - Tree Valuation

This memo is in response to City review of the CU/SPR submittal and associated comments dated March 9, 2016 for both Stations 21 and 22.

Comment #2 in each response letter requires all Landscaping Plan submittal requirements as outlined in the Bainbridge Island Administrative Manual. Part 2.D.1.iv in the manual requires that a tree valuation be completed and submitted at this stage for all trees to be retained.

We contend that this requirement is excessive and an onerous burden to the Fire Department. This opinion was shared at the City Council meeting 3/22/2016 and they directed the Tree Committee to take another look at this requirement and revise. Jeff Bouma attended the Tree Committee meeting on 3/29/2016 and it appears that this requirement will change in some manner.

As such, we are requesting that this submittal requirement be delayed due to lack of clarity and likelihood of change. Instead of being a condition of the SPR submittal process, we propose to provide the valuation at a later date but prior to issuance of any building permit and the start of construction.

MACKENZIE.

DESIGN DRIVEN | CLIENT FOCUSED

October 17, 2016

City of Bainbridge Island
Attention: Janelle Hitch
280 Madison Avenue N.
Bainbridge Island, WA 98110

Re: **Bainbridge Island Fire Department - Station #22**
Parking Analysis Letter
Project Number 2150124.00

Dear Ms. Hitch:

Mackenzie has prepared this letter to satisfy City of Bainbridge parking requirements for the subject fire station application.

The 14,333-square-foot fire station is proposed at 7934 Bucklin Hill Road NE in Bainbridge Island, Washington. The proposed fire station will replace an existing 4,850-square-foot fire station at the same site. The existing fire station has 19 striped parking spaces.

The proposed fire station's site plan presents 19 striped parking spaces. The fire station will not provide a community room or other facilities for public use, so parking needs will be based on the fire station operation only. Table 18.15-020-1 of the City's Development Code does not include a specific minimum parking requirement for fire stations, but rather requires an adequate number of parking spaces to accommodate peak shift employees for governmental facilities. The proposed fire station will have eight (8) total employees over various shifts. As a worst-case scenario, it is assumed that all employee parking will need to be accommodated during shift changes, resulting in a peak demand of eight (8) parking spaces on-site. Emergency vehicles will not require passenger vehicle parking spaces since those vehicles will be stored in the apparatus bays.

It is anticipated the proposed 19 striped parking spaces will far exceed the minimum 8-parking space requirement, allowing for additional parking if needed.

Please let us know if you have any questions or comments regarding the information in this letter.

Sincerely,



Brent Ahrend
Senior Associate | Traffic Engineer

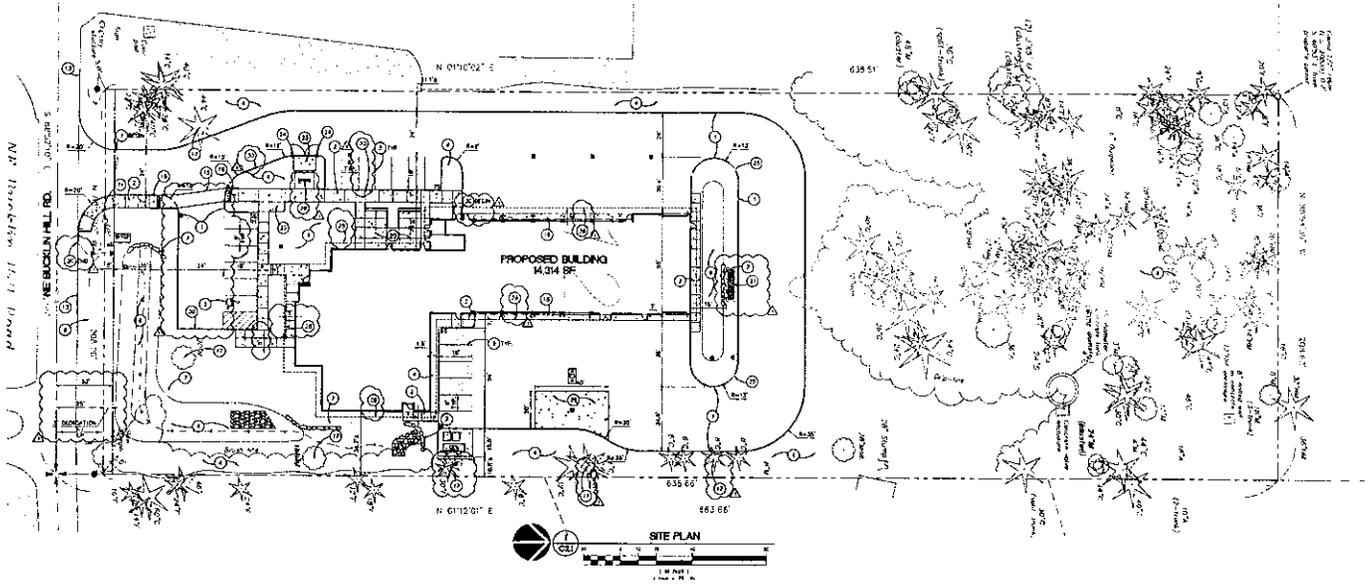
Enclosure(s): Site Plan

c: Michael Chen, Brett Hanson, Janet Jones - Mackenzie

M. P 503.224.9560 • F 503.224.9560
ARCHITECTURE • INTERIORS • STRUCTURE
Portland, Oregon • Vancouver, V

E Water Avenue, #100, Portland, OR 97214
• TRANSPORTATION PLANNING • LANDSCAPE ARCHITECTURE

ATTACHMENT AA



GENERAL NOTES

1. ALL WORK SHALL COMPLY TO THE STANDARD SPECIFICATIONS AND THE REQUIREMENTS OF THE CITY OF BANBRIDGE PLANS AND THE CURRENT AMERICAN PUBLIC WORKS OBSERVATION STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
2. THE WORKING CONDITIONS ARE GENERALLY UNFAVORABLE. THEY DO NOT HAVE ANY EFFECT, BECAUSE OF EROSION REQUIRED FOR INSTALLATION BY THE GRADE WORK. THEY DO NOT HAVE ANY OBVIOUS CONSTRUCTION BECAUSE OF THE LIMITED ACCESS TO THE SITE. TO COMPLETE THE PROJECT ALL LOCATIONS FOR WORK SHALL BE DETERMINED AND DOCUMENTED WITH PHOTOGRAPHS AND FIELD NOTES BEFORE ANY CONSTRUCTION. EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND MARKED BY THE CONTRACTOR. ALL UTILITIES SHALL BE PROTECTED BY CONSTRUCTION. PROTECTIVE SHIELDING SHALL BE INSTALLED WITH APPROXIMATELY 18\"/>
- 3. EROSION CONTROL MEASURES AND EROSION CONTROL IS REQUIRED. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED TO PREVENT EROSION OF SOILS. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES UNDER CONSTRUCTION. ACTION AND STORAGE OF SOILS TO ACCUMULATE EROSION CONTROL.
- 4. EXISTING EROSION CONTROL IS REQUIRED. EROSION SHALL BE CONTROLLED THROUGH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING EROSION CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING EROSION CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING EROSION CONTROL.
- 5. EXCAVATION: EXCAVATE FOR SLAB, PAVING AND OTHER IMPROVEMENTS TO BE IN PLACE. EXCAVATION SHALL BE INSTALLED AND MAINTAINED TO PREVENT EROSION OF SOILS. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES UNDER CONSTRUCTION. ACTION AND STORAGE OF SOILS TO ACCUMULATE EROSION CONTROL.
- 6. CONSTRUCTION SHALL VERIFY ALL UTILITIES IMPACTED BY CONSTRUCTION APPROXIMATELY 14 DAYS BEFORE CONSTRUCTION.
- 7. BEFORE CONSTRUCTION IS AN ORDERED PERMITS AND BEFORE TO OBTAIN MATERIALS, THE CONTRACTOR SHALL ENSURE THE SIDE OF THE BESTING PERMITS, THE LOCATION, SIZE, AND ELEVATION NOTES (ELEVATION OF ANY APPROXIMATE).
- 8. REQUEST BY THE CONTRACTOR FOR CHANGES TO THE PLANS MUST BE APPROVED BY THE ENGINEER.

CURB NOTE

ALL CURB RISES TO BE 2.5 UNITS OVERGRADE NOTES

KEYNOTES

1. ENTRAINED CONCRETE SLAB PER DETAIL 11/2/10
2. CONCRETE SIDEWALK PER DETAIL 11/2/10
3. 4\"/>
- 4. LANDSCAPE AREA, SEE LANDSCAPE PLANS
- 5. 4\"/>
- 6. STORMWATER FACILITY, SEE GRADING PLAN
- 7. ROOF WALL, SEE GRADING PLAN
- 8. TEMPORARY FENCE
- 9. FUTURE 4\"/>
- 10. 12\"/>
- 11. EXISTING POWER POLE 15' MINIMUM PROTECT DUMPING CONSTRUCTION
- 12. CONCRETE RETAIN WALL, SEE GRADING PLAN
- 13. EDGE OF ASPHALT
- 14. TRANSFORMER
- 15. 12\"/>
- 16. SIDEWALK RAMP PER DETAIL 11/2/10 AND 11/2/10
- 17. EXISTING TREE TO REMAIN, PROTECT DUMPING CONSTRUCTION
- 18. CONCRETE APRON, SEE PAVING LEGEND
- 19. CONCRETE FLOOR, SEE GRADING PLAN FOR DETAILS
- 20. PROPOSED TRAIL WITH 2\"/>
- 21. 12\"/>
- 22. 12\"/>
- 23. TRASH ENCLOSURE
- 24. 4\"/>
- 25. 2\"/>
- 26. CONCRETE WALKWAY
- 27. 12\"/>
- 28. ROOF PAVING
- 29. ROOF PAVING
- 30. ENTRAINED CONCRETE SLAB PER DETAIL 11/2/10

SITE DATA

GROSS SITE AREA	133,024 SF (3.06 AC)
NET SITE AREA	132,827 SF (3.05 AC)
P&W FOOTPRINT	1,044 SF
PAVING FOOTPRINT	14,324 SF
LANDSCAPE AREA	10,776
LANDSCAPE AREA	81,993 SF (1.87 AC)

PARKING DATA

PUBLIC REQUIRED	18 SPACES
STANDARD	2 SPACES
COMPACT	2 SPACES
TOTAL	22 SPACES (1.24 SPACES)

LEGEND

CONCRETE SIDEWALK CURB	
PROPERTY LINE	
ROOF RETAINING WALL	
LANDSCAPE	
LANDSCAPE AREA	
EXISTING TREE TO REMAIN	

PAVEMENT LEGEND

SEE SPECIFICATIONS FOR ADDITIONAL PAVEMENT DETAILS				
GRAVEL PAVING				
1\"/> <tr> <td>2\"/> <tr> <td>CONCRETE APRON</td> <td></td> </tr> <tr> <td>ROOF 4\"/> </td></tr> </td></tr>	2\"/> <tr> <td>CONCRETE APRON</td> <td></td> </tr> <tr> <td>ROOF 4\"/> </td></tr>	CONCRETE APRON		ROOF 4\"/>
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CONCRETE APRON				
ROOF 4\"/>				

<p>MECHANICAL/ELECTRICAL PLUMBING/MECHANICAL ROOFING/PAINTING FOR PLUMBING, MECHANICAL AND ELECTRICAL</p>	<p>LANDSCAPE PROPOSED PLANTING PROPOSED PLANTING PROPOSED PLANTING PROPOSED PLANTING</p>	<p>M. www.mackenzie.com</p> <p>ARCHITECTURE + INTERIORS + PLANNING + ENGINEERING</p> <p>2025 S. 10TH AVE. SUITE 100 SEASIDE, WA 98138</p>	<p>BANBRIDGE ISLAND FIRE DEPARTMENT 8885 MADISON AVE. BANBRIDGE, WA 98110</p>	<p>BANBRIDGE ISLAND FIRE DEPT STATION 22 7934 BUCKLIN HILL RD. NE</p>	<p>PERMIT NO. 12/31/2024</p>	<p>DATE 12/31/2024</p>	<p>DESIGNED BY CHECKED BY</p>	<p>SITE PLAN</p>	<p>REVISIONS</p>	<p>DATE 10/07/2018</p>	<p>NO. 2150124.00</p>
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Table 2.16.020.Q-3 Innovative Site Development Scoring Method

TIER	Minimum Site Development Point Requirement	WATER QUALITY & CONSERVATION		LANDSCAPING & OPEN SPACE			TRANSPORTATION			
		Projects use methods to decrease water usage and improve stormwater runoff quality through an integrated approach to stormwater management such as greywater use, stormwater collection in cisterns, <u>green-vegetated</u> roofs and covered parking. All HDDP projects will follow the <u>WA State DOE 2012 Stormwater Management Manual for Western Washington, as amended in December 2014</u> adopted stormwater manual in BIMC 15.20.		Project provides well-designed common open space, with at least 5 percent of the gross land area, set aside as open space and designed as an integrated part of the project rather than an isolated element. The common open space must be outside of critical areas and their buffers and required roadside buffers. Appropriate community amenities such as playgrounds, composting and neighborhood gardens promoting the production of locally grown food are encouraged. Resident neighborhood community gardens can be in common open space areas, and shall be appropriately located for solar exposure, and include water availability, soil amenities, and storage for garden tools. Required growing space for neighborhood gardens is 60 square feet per dwelling unit, not including any existing orchard area. Open space dedicated to the public pursuant to the standards of BIMC Sections 17.12.030. A1, A2, A3, A6 & A7 is encouraged.			Project design provides enhanced sensitivity to pedestrian and bicycle travel to promote the people getting around without a car, a reduced carbon footprint, improved health of humans, and lower pollution levels. Project internally preserves existing informal internal connection to external non-motorized facilities, furthering the Island-wide Transportation Plan (IWTP) and using such solutions as woonerfs, green streets, and natural trails and paths. Project reduces reliance on automobiles and trip counts, and promotes alternative transportation, such as integrating parking and charging facilities for electric cars, or bus shelters.			
4	30	REQUIREMENT		VALUE						
		Number of dwelling units that integrate greywater reuse components into building design:				% OF OPEN SPACE		VALUE	VALUE IF PUBLIC	
3	25	10%		1	5-10%	2	4	TRANSPORTATION COMPONENTS		
		11-20%		2	11-15%	4	6	Project preserves, creates or integrates internal and external non-motorized connections.		
		21-30%		3	16-20%	6	8	Provides public walkways, separated paths, or bike lanes. No points for facilities required by IWTP.		
		Over 31%		4	21-25%	8	10	On-site car sharing program		
2	25	Percentage of total roof area qualifying as "green-vegetated roofs":		2	Greater than 25%	10	12	1 per each car		
		15-30%		4	Incorporates neighborhood garden		2	Electric vehicle charging stations for 3% of vehicle parking capacity.		
		Over 31%			Preserves tree that qualifies as a "Heritage tree" under City Program. The tree is not otherwise required to be preserved.		2 per tree		Covered, consolidated bike parking for subdivisions	
1	14	Project integrates cisterns: % of total roof area directed to cisterns:		2	All Private yard areas ≤ 20% turf		4	Bus Shelter		
		15-30%		4	Project landscaping integrates at least 60% native or drought tolerant plants		4			
		Over 31%								
		5-20%		1						
		21-40%		2						
41-60%		3								
61-80%		4								
Over 81%		5								

Chapter 13.04

DEFINITIONS

13.04.060 Compatible pollutant.

“Compatible pollutant” for wastewater discharges means biochemical oxygen demand, suspended solids, pH, and fecal coliform bacteria, plus additional pollutants identified in an NPDES a National Pollutant Discharge Eliminating system (NPDES) wastewater discharge permit if the publicly owned treatment works is designed to treat such pollutants, and in fact does remove such pollutants to a substantial degree. The term “substantial degree” is not subject to precise definition, but generally means contemplated removals in the order of 80 percent or greater. Examples of the additional pollutants which may be considered compatible include:

- A. Chemical oxygen demand;
- B. Total organic carbon;
- C. Phosphorus and phosphorus compounds;
- D. Nitrogen and nitrogen compounds;
- E. Fats, oils and greases of animal or vegetable origin, except as prohibited where these materials would interfere with the operation of the publicly owned treatment works. (Ord. 82-20 § A(30), 1982)

13.04.110 Incompatible pollutant.

“Incompatible pollutant” for wastewater discharges means any pollutant which is not a compatible pollutant as defined in “compatible pollutant.” (Ord. 82-20 § A(31), 1982)

Chapter 13.24

STORM AND SURFACE WATER UTILITY

Sections:

- 13.24.010 Purpose.
- 13.24.020 Utility established.
- 13.24.030 Jurisdiction.
- 13.24.040 Transfer of property.
- 13.24.050 Definitions.
- 13.24.060 Storm and surface water utility fund.
- 13.24.070 Utility rate policy.
- 13.24.080 Powers and authority.
- 13.24.090 Fee imposed.
- 13.24.110 Utility service charge calculation.
- 13.24.120 Undeveloped real property.
- 13.24.130 Service charges.
- 13.24.131 Rate reductions.
- 13.24.132 Property exempt from service charges.
- 13.24.140 Billing and payment.
- 13.24.150 Service charge adjustments and appeals.
- 13.24.170 Lien for service – Interest.
- 13.24.180 Inspections – Right of entry – Emergency.

13.24.050 Definitions.

The following words when used in this chapter shall have the following meanings, unless the context clearly indicates otherwise:

A. “Agricultural land” means land primarily devoted to agricultural operations.

B. “Agricultural operation” means any facility or activity for the production or intent of production for commercial or family use purposes of dairy, apiary, livestock, camelids, ratites, vegetable or animal products, and crop products including, but not limited to, ornamental crops. Incidental vegetable gardening, landscaping and keeping common pets by single-family residential properties are not defined as agriculture.

C. “Commercial use” means the providing of goods or services for compensation.

D. “Developed” shall mean that condition of real property altered from its natural state by the creation or addition to or construction on such property of impervious ground cover – hard surfaces; expansion of a building footprint, addition or replacement of a building or other structures; structural development including construction, installation or expansion of a building or other structure; replacement of hard surface that is not part of a routine maintenance activity; and land disturbing activities or other manmade physical improvements (such as clearing or grading) ~~such that the hydrology of the property or portion thereof is affected.~~

E. “Hard surface” shall mean an impervious surface, a permeable pavement or a vegetated roof.

~~FE. “Impervious ground cover” shall mean those hard surfaces which either prevent or impede the entry of water into the soil in the manner that such water entered the soil under natural conditions preexistent to development, or which cause water to run off the surface in greater quantities or at an increased rate of flow than that present under natural conditions preexistent to development, including, without limitation, such surfaces as rooftops, greenhouses, asphalt or concrete sidewalks, paving, unnamed ways of travel, driveways and parking lots, walkways, artificial turf playing fields, patio areas, storage areas, and gravel, oiled macadam or other surfaces which similarly affect the natural infiltration or runoff patterns that existed prior to development.~~

~~Lawns, pastures, agricultural land, and landscaped areas, including playgrounds with soft ground cover, are not impervious ground cover. Permeable pavement areas that have been designed to completely infiltrate water applied~~

~~to the surface, as documented in a drainage report submitted and approved for the developed property, are not impervious ground cover.”~~Impervious Surface” shall mean a non-vegetated surface area which either prevents or retards the entry of water into the soil mantle as under natural conditions prior to development. A non-vegetated surface area which causes water to run off the surface in greater quantities or at an increased rate of flow from the flow present under natural conditions prior to development. Common impervious surfaces include, but are not limited to, roof tops, walkways, patios, driveways, parking lots or storage areas, concrete or asphalt paving, gravel roads, packed earthen materials, and oiled, macadam or other surfaces which similarly impede the natural infiltration of stormwater.”

GF. “Impervious surface unit (ISU)” shall mean the average estimated amount of impervious ground cover on a single-family residential parcel. For the purposes of calculating the service charges in BIMC 13.24.130, an ISU shall be defined as 3,000 square feet of impervious ground cover and is the unit of measurement used by the utility in assessing service charges.

GH. “Landscaped areas” shall mean those areas of any property type that are planted with trees, shrubs, or other vegetation, including the soil or bedding material areas associated with the plantings.

HI. “Low intensity development” shall mean any development, excluding single family, which creates or utilizes less than 15 percent impervious ground cover on a parcel.

IJ. “Multifamily” shall mean any residential structure designed for occupancy by multiple-family households in rented or leased apartments.

K. “On-site stormwater management facility” means low impact development best management practices as defined in BIMC 15.20.

LJ. “Other developed property” shall mean all property developed for other than single-family residential uses. Such other developed properties include apartments, municipal, commercial, retail, industrial, manufacturing, maintenance, utility, recreation, agriculture, park, school, marina, religious, convalescent center, and any other private or public purposes, including properties with commercial operations that may also contain one or more residences.

MK. “Service charge” shall mean the fee levied by the utility.

NE. “Single-family residential” shall mean individual single-family homes, mobile homes, condominiums and duplex homes.

OM. “Structure” means any manmade assemblage of materials extending above or below the surface of the earth and affixed or attached thereto.

PN. “Undeveloped” shall mean that condition of real property unaltered by construction on, or addition to, such property of impervious ground cover or physical manmade improvements of any kind in excess of 100 square feet that change the hydrology of the property from its natural state.

QE. “Utility” means the storm and surface water utility established by Ordinance No. 86-27, passed on July 16, 1986.

RP. “Way-of-travel” means a roadway of whatever sort, including, but not limited to, avenues, boulevards, circles, courts, roads, drives, lanes, loops, places, tracts and ways, which is capable of carrying vehicular traffic. (Ord. 2015-20 § 2, 2015)

13.24.131 Rate reductions.

For parcels, excluding single-family residential properties:

A. The service charge charged to a parcel for impervious ground cover areas consisting of compacted gravel surfaces used by vehicles as a way-of-travel or parking shall be 75 percent of the rate for impervious ground cover areas set forth in BIMC 13.24.130;

B. For any property other than a single-family residence (including mobile homes, condominiums and duplexes), if the property owner (1) has been required by either the city or Kitsap County since January 1, 1985, to construct an on-site storm water mitigation facility as a condition of the property's development or (2) has constructed voluntarily since January 1, 1985, an on-site ~~storm water mitigation~~stormwater management facility serving the property and exceeding city standards at the time of construction, the city may at its sole discretion reduce by up to 50 percent of the storm and surface water service fee charged for the property pursuant to BIMC 13.24.130. For parcels that construct qualifying green infrastructure (low impact development) as on-site ~~storm water mitigation~~stormwater management in accordance with Chapter 15.20 BIMC, the city may, at its sole discretion, reduce the utility service fee charged by up to 50 percent for the property pursuant to BIMC 13.24.130.

C. Any low intensity parcel that creates or utilizes less than 15 percent impervious ground cover will be eligible for a rate reduction of 50 percent, in the city's sole discretion.

D. In order to obtain a rate reduction pursuant to subsections B and C of this section, the parcel owner must submit the required forms that demonstrate the qualification for a rate reduction by November 15th of a given year. If approved, the rate reduction will become effective in the calendar year following the request.

E. The rate reduction authorized by this section shall not reduce the total storm and surface water utility service fee to less than 50 percent of the fee required pursuant to BIMC 13.24.130, and shall not be used in conjunction with any other rate reduction authorized by this title. The minimum ISU charge per developed property shall be one ISU.

F. Low income senior and disabled citizens who meet the requirements set forth in Chapter 13.16 BIMC shall be entitled to a reduction in service charges as established by city resolution. (Ord. 2015-20 § 2, 2015)